

COPY -
WHP sheds

PLANNING, PERMITS AND INSPECTIONS

Worcester County

ROOM 116 COURT HOUSE

ONE WEST MARKET STREET

SNOW HILL, MARYLAND 21863-1070

TEL: 410-632-1200 / FAX: 410-632-3008

February 20, 1996

BOARD OF APPEALS
PLANNING COMMISSION
AGRICULTURAL PRESERVATION
ENVIRONMENTAL PROGRAMS

ELECTRICAL BOARD
SHORELINE COMMISSION
LICENSE COMMISSIONERS

G. Troy Purnell, V.P.
Assateague Pointe, Inc.
8552 Stephen Decatur Highway
Berlin, Maryland 21811

RE: Case No. 44076, appealing the decision of the Department that the separation requirement between buildings on the same lot, as outlined in Section ZS 1-304(p), is not a setback requirement, and therefore applies to campground subdivisions. The applicant contends that the separation requirement is a setback and therefore does not apply to campground subdivisions, pursuant to Section ZS 1-312(d).

Dear Mr. Purnell:

Enclosed please find a copy of the Opinion as rendered by the Board of Zoning Appeals for Worcester County in reference to the above-mentioned case.

I believe you will find this Opinion to be self-explanatory. However, please do not hesitate to contact me at this office with any questions you may have concerning this matter.

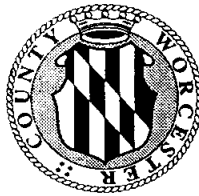
Sincerely,

Edward A. Tudor
Supervising Permit Administrator

~~VERIFIED COPY~~
Worcester County
Permitting Office

If you have a question
about the shed location.
See attached letter -
Campground subdivision
doesn't require
setback





FILE COPY

PLANNING, PERMITS AND INSPECTIONS

Worcester County

BOARD OF APPEALS
PLANNING COMMISSION
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February 20, 1996

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Sincerely,

Edward A. Tudor
Supervising Permit Administrator

EAT:dls
enclosure

IN THE MATTER OF ASSATEAGUE
POINTE, INC. BEFORE THE BOARD
OF ZONING APPEALS FOR
WORCESTER COUNTY, MARYLAND

*
*
*
*

Case No: 44076

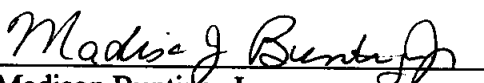
* * * * *

OPINION

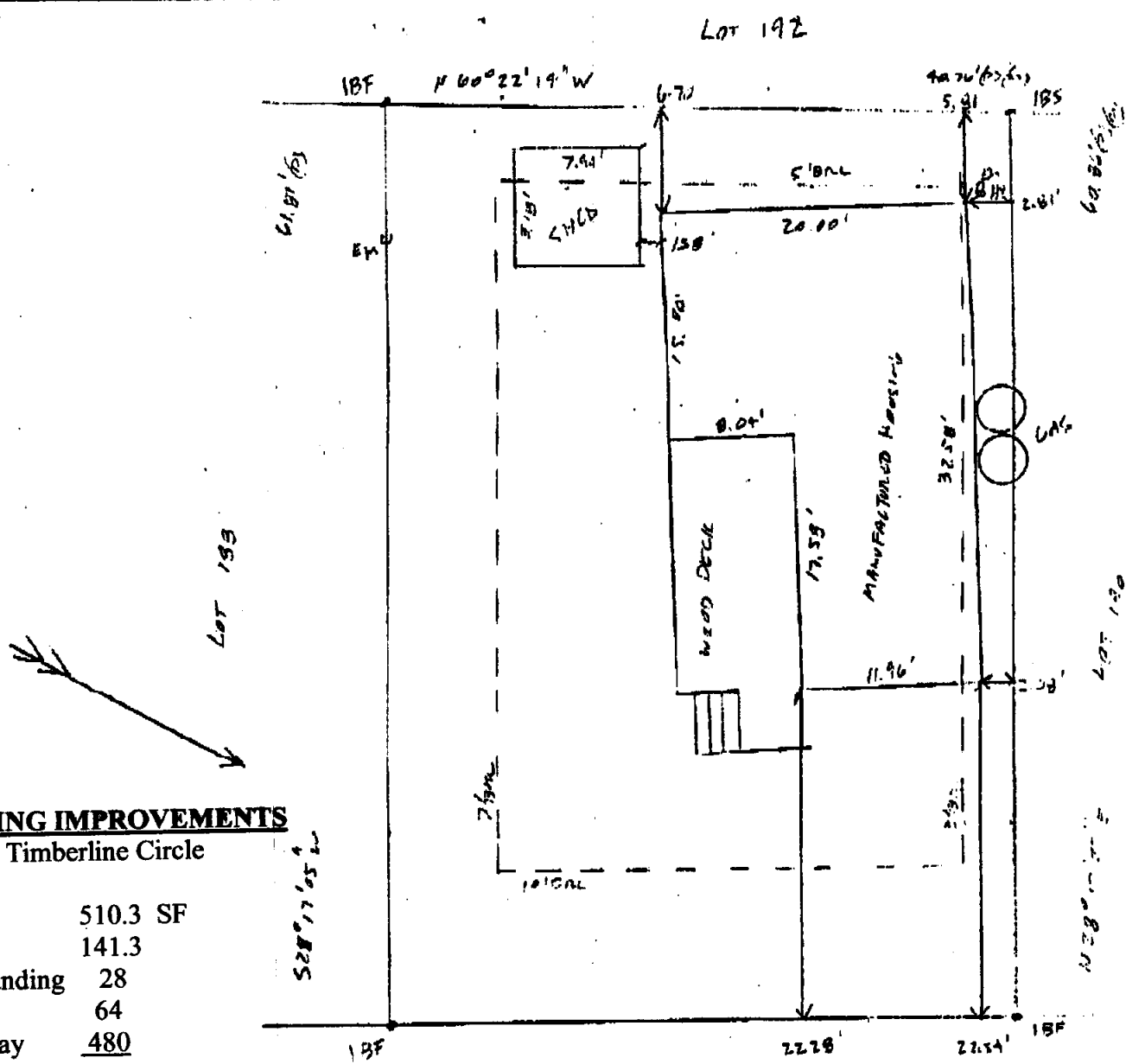
A hearing was held before the Board of Zoning Appeals for Worcester County, Maryland, on Thursday, January 11, 1996, upon the application of Assateague Pointe, Inc. appealing the decision of the Department that the separation requirement between buildings on the same lot, as outlined in Section ZS 1-304(p), is not a setback requirement, and therefore, applies to campground subdivisions. The applicant contends that the separation requirement is a setback and therefore does not apply to camp ground subdivisions pursuant to Section ZS 1-312(d).

Upon consideration of this issue, the Board has determined that Section ZS 1-304(p) is infact a setback requirement from which the applicant is exempt pursuant to Section ZS 1-312(b). Accordingly, upon motion made by Mr. Marshall, and seconded by Mr. Widgeon, the Board unanimously passed the following resolution:

BE IT RESOLVED, that the applicant is exempt from the requirements of Section ZS 1-304(p).


Madison Bunting, Jr.,
Chairman

Date: 2/18/1996



EXISTING IMPROVEMENTS

Lot 189 Timberline Circle

House	510.3 SF
Deck	141.3
Steps/landing	28
Shed	64
Driveway	480

Total: 1,223.6 SF



TIMBERLINE CIRCLE 40' R/W

Zoned A-1
Building Restriction Lines

Front	10'
Right side	3'
Left Side	7'
Rear	5'

I Hereby Certify that this plat represents an accurate survey and all structures and improvements are located as shown hereon. There are no encroachments across building restriction, zoning setback or property line, except right side of the building encroaches on the right side setback line.

Douglas G. Loewer PLS 10697

Location Survey For
 189 Timberline Circle,
 Lot 189, Phase 1,
 Section 3,
 White Horse Park,
 Worcester County,
 Maryland 21811

Job # 7799
 Scale 1"=10'
 Date 2/25/04

LOEWER & ASSOCIATES

Engineers, Surveyors and Real Estate
 410-641-4040

10144 Greenbrier Drive, Berlin, Md. 21811

Epistiny

Permit Number

Checked By/Date

MECcheck Compliance Report 2000 IECC

MECcheck Software Version 3.3 Release 1b
Data filename: Untitled

TITLE: RA098-A /

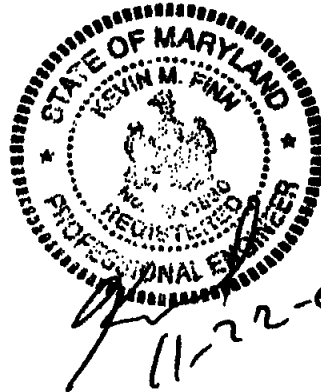
CITY: Hagerstown
STATE: Maryland
HDD: 5293
CONSTRUCTION TYPE: Single Family

DATE: 11/21/02
DATE OF PLANS: 11-19-02

COMPANY INFORMATION:
COMMODORE HOMES
MANORWOOD HOMES
REGENT HOMES

COMPLIANCE: Passes

Maximum UA = 181
Your Home = 167
7.7% Better Than Code



	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Glazing or Door U-Factor	UA
Ceiling 1: Flat Ceiling or Scissor Truss	748	30.0	0.0		26
Wall 1: Wood Frame, 16" o.c.	896	19.0	0.0		43
Window: 3041: Vinyl Frame, Double Pane with Low-E	9			0.350	3
Window: 3057: Vinyl Frame, Double Pane with Low-E	47			0.350	17
Window: 2457: Vinyl Frame, Double Pane with Low-E	57			0.350	20
Window: 3433: Vinyl Frame, Double Pane with Low-E	8			0.350	3
Window: 3857: Vinyl Frame, Double Pane with Low-E	45			0.350	16
Door: 3680: Solid	20			0.180	4
Floor 1: All-Wood Joist/Truss, Over Unconditioned Space	748	19.0	0.0		35
Furnace 1: Forced Hot Air, 78 AFUE					

COMPLIANCE STATEMENT: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2000 IECC requirements in MECcheck Version 3.3 Release 1b and to comply with the mandatory requirements listed in the MECcheck Inspection Checklist.

Builder/Designer

Jeanne M. Hopple

Date

11/21/02

INSPECTOR

MECcheck Inspection Checklist

2000 IECC

MECcheck Software Version 3.3 Release 1b

DATE: 11/21/02

TITLE: RA098-A / MENCH

Bldg.
Dept.
Use

Ceilings:

- [] 1. Ceiling 1: Flat Ceiling or Scissor Truss, R-30.0 cavity insulation
Comments:

Above-Grade Walls:

- [] 1. Wall 1: Wood Frame, 16" o.c., R-19.0 cavity insulation
Comments:

Windows:

- [] 1. Window: 3041: Vinyl Frame, Double Pane with Low-E, U-factor: 0.350
For windows without labeled U-factors, describe features:
Panes _____ Frame Type _____ Thermal Break? [] Yes [] No
Comments: STANDARD BATH WINDOW
- [] 2. Window: 3057: Vinyl Frame, Double Pane with Low-E, U-factor: 0.350
For windows without labeled U-factors, describe features:
Panes _____ Frame Type _____ Thermal Break? [] Yes [] No
Comments: STANDARD TRIPLE WINDOW
- [] 3. Window: 2457: Vinyl Frame, Double Pane with Low-E, U-factor: 0.350
For windows without labeled U-factors, describe features:
Panes _____ Frame Type _____ Thermal Break? [] Yes [] No
Comments: STANDARD FIREPLACE WINDOW
- [] 4. Window: 3433: Vinyl Frame, Double Pane with Low-E, U-factor: 0.350
For windows without labeled U-factors, describe features:
Panes _____ Frame Type _____ Thermal Break? [] Yes [] No
Comments: STANDARD KITCHEN WINDOW
- [] 5. Window: 3857: Vinyl Frame, Double Pane with Low-E, U-factor: 0.350
For windows without labeled U-factors, describe features:
Panes _____ Frame Type _____ Thermal Break? [] Yes [] No
Comments: STANDARD EGRESS WINDOW

Doors:

- [] 1. Door: 3680: Solid, U-factor: 0.180
Comments: ENTRY DOORS

Floors:

- [] 1. Floor 1: All-Wood Joist/Truss, Over Unconditioned Space, R-19.0 cavity insulation
Comments:

Heating and Cooling Equipment:

- [] 1. Furnace 1: Forced Hot Air, 78 AFUE or higher
Make and Model Number _____

Air Leakage:

- [] Joints, penetrations, and all other such openings in the building envelope that are sources of air leakage must be sealed.



- [] Recessed lights must be Type IC rated and installed with no penetrations, or Type IC or non-IC rated installed inside an appropriate air-tight assembly with a 0.5" clearance from combustible materials and 3" clearance from insulation.

- Vapor Retarder:**
- [] Required on the warm-in-winter side of all non-vented framed ceilings, walls, and floors.

- Materials Identification:**
- [] Materials and equipment must be installed in accordance with the manufacturer's installation instructions.
- [] Materials and equipment must be identified so that compliance can be determined.
- [] Manufacturer manuals for all installed heating and cooling equipment and service water heating equipment must be provided.
- [] Insulation R-values and glazing U-factors must be clearly marked on the building plans or specifications.

- Duct Insulation:**
- [] Ducts in unconditioned spaces must be insulated to R-5.
- [] Ducts outside the building must be insulated to R-6.5.

- Duct Construction:**
- [] All joints, seams, and connections must be securely fastened with welds, gaskets, mastics (adhesives), mastic-plus-embedded-fabric, or tapes. Duct tape is not permitted.
Exception: Continuously welded and locking-type longitudinal joints and seams on ducts operating at less than 2 in. w.g. (500 Pa).
- [] Ducts shall be supported every 10 feet or in accordance with the manufacturer's instructions.
- [] Cooling ducts with exterior insulation must be covered with a vapor retarder.
- [] Air filters are required in the return air system.
- [] The HVAC system must provide a means for balancing air and water systems.

- Temperature Controls:**
- [] Thermostats are required for each separate HVAC system. A manual or automatic means to partially restrict or shut off the heating and/or cooling input to each zone or floor shall be provided.

- Service Water Heating:**
- [] Water heaters with vertical pipe risers must have a heat trap on both the inlet and outlet unless the water heater has an integral heat trap or is part of a circulating system.
- [] Insulate circulating hot water pipes to the levels in Table 1.

- Circulating Hot Water Systems:**
- [] Insulate circulating hot water pipes to the levels in Table 1.

- Swimming Pools:**
- [] All heated swimming pools must have an on/off heater switch and require a cover unless over 20% of the heating energy is from non-depletable sources. Pool pumps require a time clock.

- Heating and Cooling Piping Insulation:**
- [] HVAC piping conveying fluids above 105 °F or chilled fluids below 55 °F must be insulated to the levels in Table 2.



Table 1. Minimum Insulation Thickness for Circulating Hot Water Pipes.

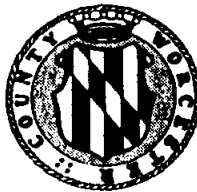
Heated Water Temperature (F)	Insulation Thickness in Inches by Pipe Sizes			
	Non-Circulating Runouts		Circulating Mains and Runouts	
	Up to 1"	Up to 1.25"	1.5" to 2.0"	Over 2"
170-180	0.5	1.0	1.5	2.0
140-160	0.5	0.5	1.0	1.5
100-130	0.5	0.5	0.5	1.0

Table 2: Minimum Insulation Thickness for HVAC Pipes.

Piping System Types	Fluid Temp. Range (F)	Insulation Thickness in Inches by Pipe Sizes			
		2" Runouts	1" and Less	1.25" to 2"	2.5" to 4"
Heating Systems					
Low Pressure/Temperature	201-250	1.0	1.5	1.5	2.0
Low Temperature	120-200	0.5	1.0	1.0	1.5
Steam Condensate (for feed water)	Any	1.0	1.0	1.5	2.0
Cooling Systems					
Chilled Water, Refrigerant, and Brine	40-55	0.5	0.5	0.75	1.0
	Below 40	1.0	1.0	1.5	1.5

NOTES TO FIELD (Building Department Use Only)





EMERGENCY SERVICES

Worcester County

ROOM L - 14 COURT HOUSE
ONE WEST MARKET STREET

SNOW HILL, MARYLAND 21863-1000

TEL: 410 - 632 - 1311

FAX: 410 - 632 - 2141

January 25, 1996

EDWARD S. CROOPER
DIRECTOR

Resort Homes
C/O Troy Purnell
Stephen Decatur Highway
Berlin, MD. 21811

RE: Assateague Pointe accessory building fire separation

Troy,

In regard to the separation between the accessory buildings (outside storage sheds) and the adjoining structures not on the same property I offer the following opinion. After making a physical inspection, it is my opinion the separation between the accessory buildings and the adjoining structures do not constitute a life threatening situation. Although NFPA 501A, *Standard for Fire Safety Criteria for Manufactured Home Installations, Sites and Communities*. Section 4-4.1 of NFPA 501A states; "*Accessory buildings or structures shall be permitted to be located immediately adjacent to a site line where constructed entirely of materials that do not support combustion and provided that such buildings or structures are not less than 3 feet from an accessory building or structure on an adjacent site. An accessory building or structure constructed of combustible materials shall be located not closer than 5 feet from the site line of an adjoining site.*"

Section 4-4.2 states; "*Every habitable room in an accessory building or structure shall have access to at least one exterior opening suitable for exiting directly to the outside without passing through the manufactured home.* As we discussed, placement of the accessory buildings shall not impede the exit access described in section 4-4.2.

My ruling will apply to the accessory buildings already in place and the remainder of the Assateague Pointe project. However with future projects, NFPA 501A will apply.

If I can be of any further assistance please don't hesitate to call.

Sincerely,

Edward S. Cropper
Fire Marshal

cc: Wally Waynick, Chief of Inspections, Worcester County PPI

wa/ly

David C. Gaskill
Attorney at Law
4100 Coastal Highway
P.O. Box 210
Ocean City, Maryland 21842

FAX
(410) 289-9160

Telephone
(410) 289-5006

January 16, 1996

Madison Bunting, Jr., Chairman
Worcester County Board of Zoning Appeals
Courthouse, Room 116
One W. Market Street
Snow Hill, Maryland 21863

Re: Assateague Pointe, Inc.
Case No. 44076

Dear Mr. ^{Jim}Bunting:

At the direction of the Board, I have been given the unenviable task of advising as to my opinion concerning the issue raised by Assateague Pointe, Inc. in the above referenced case. I will now do so.

Section ZS 1-312(d), concerning accessory buildings on campground sites located in a campground subdivision, provides that "[a]ccessory buildings may not be located in the front yard setback but are not subject to other setback requirements."

Section ZS 1-304(p)(2) provides that "[a]ccessory buildings shall be distant at least six (6) feet from any other building on the same lot"

The Applicant, Assateague Pointe, Inc., contends that 1-304(p)(2) is a setback requirement from which it is exempt. The Department contends that 1-304(p)(2) is a "separation" requirement, not a setback requirement. Accordingly, its position is that Assateague Pointe is not exempted from compliance with 1-304(p)(2).

The Department has relied upon the definition of "setback line" provided in Md. Code, *Courts and Judicial Procedures Article, §5-114 (a) (7)*, which provides that "setback line means the distance from a curb or shoulder of a highway, edge of a sidewalk, or property line beyond which any portion of a building or structure may not extend." Upon reflection, I believe that the Department's reliance on this section is misplaced. The section concerns a statute of limitations on bringing an action for violation of setback provisions. There are setback provisions in the zoning ordinance, i.e., stormwater management facilities, which oftentimes do not fit within this definition. The Department contends, and I believe rightfully so, that the purpose of 1-304(p)(2) is to provide for fire safety. Under rules of statutory construction, however, a statutory purpose is to be determined from the words of the statute itself, without resort to outside sources, unless the words are ambiguous. There is no ambiguity in 1-304(p)(2).

Sections 1-304(b), (c) and (d) set forth the method for determining front, rear and side yard setback lines, respectively. Section 1-304(e) provides as follows:

Determination of setback lines other than front, side and rear yard. Setbacks or buffer strips required by this Title, other than front, side and rear yard setbacks, shall be measured as the shortest distance between the point or line measured from any point on the use or structure subject to such setback requirement.

This section contemplates setback requirements other than the traditionally recognized yard setbacks, as indeed there are other types of setbacks in the zoning ordinance. Whether you call a "distance requirement" a setback or a separation, the result is the same. A use or structure may not extend into the prohibited area.

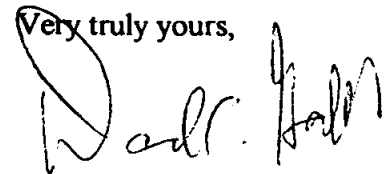
While I am not an architect, surveyor, engineer or any other type of expert, I simply have a problem in reconciling the Department's interpretation of 1-304(p)(2) with the requirements of 1-312(c)(1)(L.). That section requires each campsite to be 50 feet in width and 60 feet in depth. It also requires minimum setbacks of 10 feet in the frontyard, 7 feet in the left side yard, 3 feet in the right side yard and 7 feet in the rear yard. A copy of a site plan provided by Assateague Pointe is attached hereto. It seems to me that if a 6 foot separation requirement is applied, that in most instances it will be impossible to place a 8' by 10' accessory building as allowed by 1-312(d).

Finally, I am of the opinion that to hold that 1-304(p)(2) is a separation requirement rather than a setback requirement would be to champion form over substance. As the Court of Appeals stated in *Aspen Hill Venture v. Montgomery County*, 265 Md. 303, 313-14 (1972),:

In such a situation we must not forget the underlying principle that, "Such ordinances [zoning ordinances] are in derogation of the common law right to so use private property as to realize its highest utility, and while they should be liberally construed to accomplish their plain purpose and intent, they should not be extended by implication to cases not clearly within the scope of the purpose and intent manifest in their language."

The reality of this situation is that 1-304(p)(2) operates as a setback requirement. While the intent of the legislative body in enacting the section may well have been to provide for fire safety, that intent is not evident from a plain reading of the ordinance. Reluctantly, I conclude that campsite accessory buildings are exempt from the requirements of ZS 1-304(p)(2). I would, however, urge the Department to continue to seek a text amendment to somehow address the issue of fire safety in this area.

Very truly yours,



David C. Gaskill

APPLICATION TO:
BOARD OF ZONING APPEALS
WORCESTER COUNTY, MARYLAND
ROOM 116 - COURT HOUSE
ONE WEST MARKET STREET
SNOW HILL, MARYLAND 21863-1070
(410) 632-1200

CASE NUMBER: 44076
DATE FILED: 12/19/95
HEARING DATE: 1/11/96 7:25
PETITIONERS NOTIFIED: _____
DECISION OF BOARD: _____
COPY OF SITE PLAN SHOWING IN DETAIL
PROPOSED CONSTRUCTION: _____

APPLICATION IS BEING MADE FOR: (check one or all that apply)

Special Exception Variance Expansion of Nonconforming Use/Structure Other

To the Board of Zoning Appeals:

Pursuant to Section 1-116 of the Worcester County Zoning Ordinance, enacted or as amended, request is hereby made for:
Appealing the decision of Dept. that the separation between Structures 25-1-304-P
is a setback requirement and is not applicable to the Camp and Subdivision section
25-1-304-P with respect to accessory structures
1-312(d)

LOCATION OF PROPERTY:

On [N] [S] [E] [W] Side of _____ Road.
_____ [Ft] [Miles], [N] [S] [E] [W] of _____ Road.

OTHER DESCRIPTION:

Election District: _____ Tax Map: _____ Parcel: _____ Section: _____ Lot: _____ Block: _____
Estimated Construction Cost: \$ _____
Owner: _____
Address: _____
Telephone: _____

Applicant's Name, Address and Telephone No., If Different From Above:
Assessing Board Inc 8552 Stephen Decatur Hwy, Berlin, Md 21811 410-641-1671

Has property in question ever been subject of previous appeal? _____
If so, give appeal number and date. _____
Is property located in the Chesapeake Bay Critical Area Along the Pocomoke River or its tributaries? _____
If so, has information been submitted in accordance with Section 8-1813, Chapter 794, Laws of 1984? _____

OFFICE USE ONLY

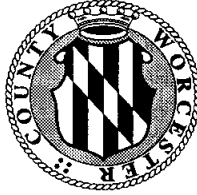
MINIMUM REQUIRED SETBACKS:

Front: _____ Ft. From Centerline of Road Right of Way of State Road Front Property Line
Rear Yard: _____ Ft. Left Side: _____ Ft. Right Side: _____ Ft.
Zoning District: _____

Resort Homes Inc. [Signature]
Signature of Owner

Resort Homes Inc. [Signature]
Signature of Applicant

NOTE: After Board of Zoning Appeals Hearing on Special Exceptions, you must send "Letter of Acceptance" within 90 days of receipt of Opinion or Special Exception becomes null and void. (Section 1-116(3)(h)).



PLANNING, PERMITS AND INSPECTIONS

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TEL: 410 - 632-1200 / FAX: 410-632-3008

ELECTRICAL BOARD
SHORELINE COMMISSION
LICENSE COMMISSIONERS

Memorandum

To: Board of Zoning Appeals Members
From: Edward A. Tudor, Supervising Permit Administrator
Re: Case No. 44076
Date: January 2, 1996

Please be advised that there are no signs posted for this particular case, as it does not address a particular parcel. It is strictly an appeal from a decision of the Department with respect to the text of the Zoning and Subdivision Control Article.

ET/jwd

A F F I D A V I T
* * * * *

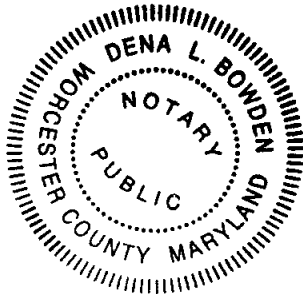
STATE OF MARYLAND, WORCESTER COUNTY, TO WIT:

I HEREBY CERTIFY THAT ON THIS 27th DAY OF December, 1995,
BEFORE ME A NOTARY PUBLIC IN AND FOR THE STATE AND COUNTY
AFORESAID, PERSONALLY APPEARED JANET W. DAVIS, WHO MADE OATH IN
DUE FORM OF LAW THAT SHE COMPLIED WITH THE SECTION 1-113 OF THE
WORCESTER COUNTY ZONING ORDINANCE PURSUANT TO MAILING NOTICES TO
ADJOINING PROPERTY OWNERS IN BOARD OF ZONING APPEALS CASE NO.
44076, Assateague Pointe, Inc. AND SIGNED THIS AFFIDAVIT AS
EVIDENCE OF SAME.

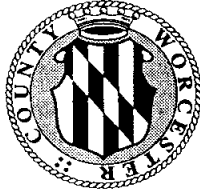
AS WITNESS MY HAND AND OFFICIAL SEAL.

Dena L. Bowden
(NOTARY PUBLIC)

MY COMMISSION EXPIRES:



DENA L. BOWDEN
NOTARY PUBLIC STATE OF MARYLAND
My Commission Expires December 7, 1996



PLANNING, PERMITS AND INSPECTIONS

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ELECTRICAL BOARD
SHORELINE COMMISSION
LICENSE COMMISSIONERS

December 27, 1995

Assateague Pointe, Inc.
G. Troy Purnell, V.P.
8552 Stephen Decatur Highway
Berlin, MD 21811

Case No. 44076, appealing the decision of the Department that the separation requirement between buildings on the same lot, as outlined in Section ZS 1-304(p), is not a setback requirement, and therefor applies to campground subdivisions. The applicant contends that the separation requirement is a setback and therefor does not apply to campground subdivisions, pursuant to Section ZS 1-312(d).

Dear Mr. Purnell:

Your case before the Worcester County Board of Zoning Appeals has been scheduled for Thursday, January 11, 1996 at the hour of 7:25 p.m. in the Worcester County Commissioner's Office, Room 108, Court House, Snow Hill, Maryland. You are entitled to be represented by an attorney if you wish. It is required that you or your representative be present at the hearing.

You may bring any witnesses who may aid your case.

Very truly yours,

Janet W. Davis
Secretary

jwd



Regent Homes Inc.

11602 S. Dolly Circle
Berlin, Md. 21811
Phone: 410-641-5915
Fax: 410-641-6783

August 13, 2002

To: Kelly Henry, Worcester County, Dept. of Planning and Permits

From: Lee Williams

Ref: Lot 355 White Horse Park

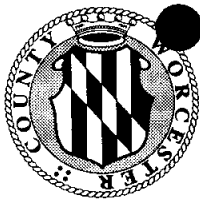
It is my understanding that a building permit for the lot mentioned above is currently being delayed due to an issue regarding the separation distance between an accessory building and the new home. I have enclosed for your review a copy of a BZA opinion rendered in 1996, case # 44076. In this case it was determined that in a campground subdivision the accessory buildings are exempt from any separation requirement. I hope that you will find this information relevant to the matter at hand and also find that this permit can be issued. If for any reason you are not of this determination please call me as soon as possible. The best way to reach me is on the cell phone at 410-726-2612.

Thank you for you time on this matter. We are hoping to receive this permit soon or a call explaining what must be done to resolve the problem.

Sincerely;



Lee Williams



PLANNING, PERMITS AND INSPECTIONS
Worcester County
 ROOM 116 COURT HOUSE
 ONE WEST MARKET STREET
 SNOW HILL, MARYLAND 21863-1070
 410-632-1200 • FAX: 410-632-3008

NO. 44076

Name RESORT HOMES INC Tel. _____

T/A _____

Address _____

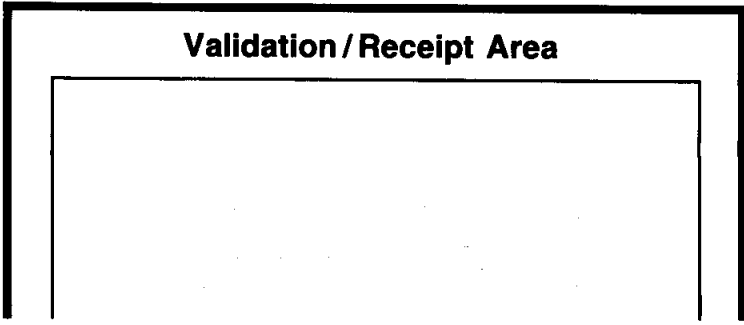
City / State / Zip _____

<input type="checkbox"/> BUILDING PERMITS	10-523-5232	\$ _____
<input checked="" type="checkbox"/> ZONING FEES	10-541-5412	\$ <u>150.00</u>
<input type="checkbox"/> SHORELINE PERMITS	10-523-5234	\$ _____
<input type="checkbox"/> FIRE INSPECTION FEES	10-541-5424	\$ _____
<input type="checkbox"/> PUBLICATION/COPY FEES	10-541-5414	\$ _____
<input type="checkbox"/> ENVIRONMENTAL PERMITS	10-523-5235	\$ _____
<input type="checkbox"/> TRAILER PARK EXCISE TAX	10-515-5156	\$ _____
<input type="checkbox"/> TOURIST & TRAILER PARK PERMIT	10-522-5226	\$ _____
<input type="checkbox"/> OCCUPATIONAL LICENSE/ELECTRICAL	10-522-5224	\$ _____
<input type="checkbox"/> VENDING MACHINE LICENSE	10-522-5222	\$ _____
<input type="checkbox"/> BINGO PERMITS	10-522-5225	\$ _____
<input type="checkbox"/> RAFFLE/GAMING PERMITS	10-523-5237	\$ _____
<input type="checkbox"/> ALCOHOLIC BEVERAGE LICENSE/MISC. FEES	10-522-5221	\$ _____
<input type="checkbox"/> SPECIAL SUNDAY & ONE DAY PERMITS	10-522-5221	\$ _____
<input type="checkbox"/> ADVERTISING COSTS	10-108-6204	\$ _____
<input type="checkbox"/> OTHER COLLECTIONS	_____	\$ _____
	TOTAL DUE	\$ <u>150.00</u>

Comments: BZA APPEAL

Date 12/19/95 Authorized Signature

Make Checks Payable To: Worcester County
 Make Payment At: Office of the Treasurer
 Room 110, Court House
 * Checks returned for non-payment void this receipt & respective License/Permit *



40.76'

.5'

NORTH

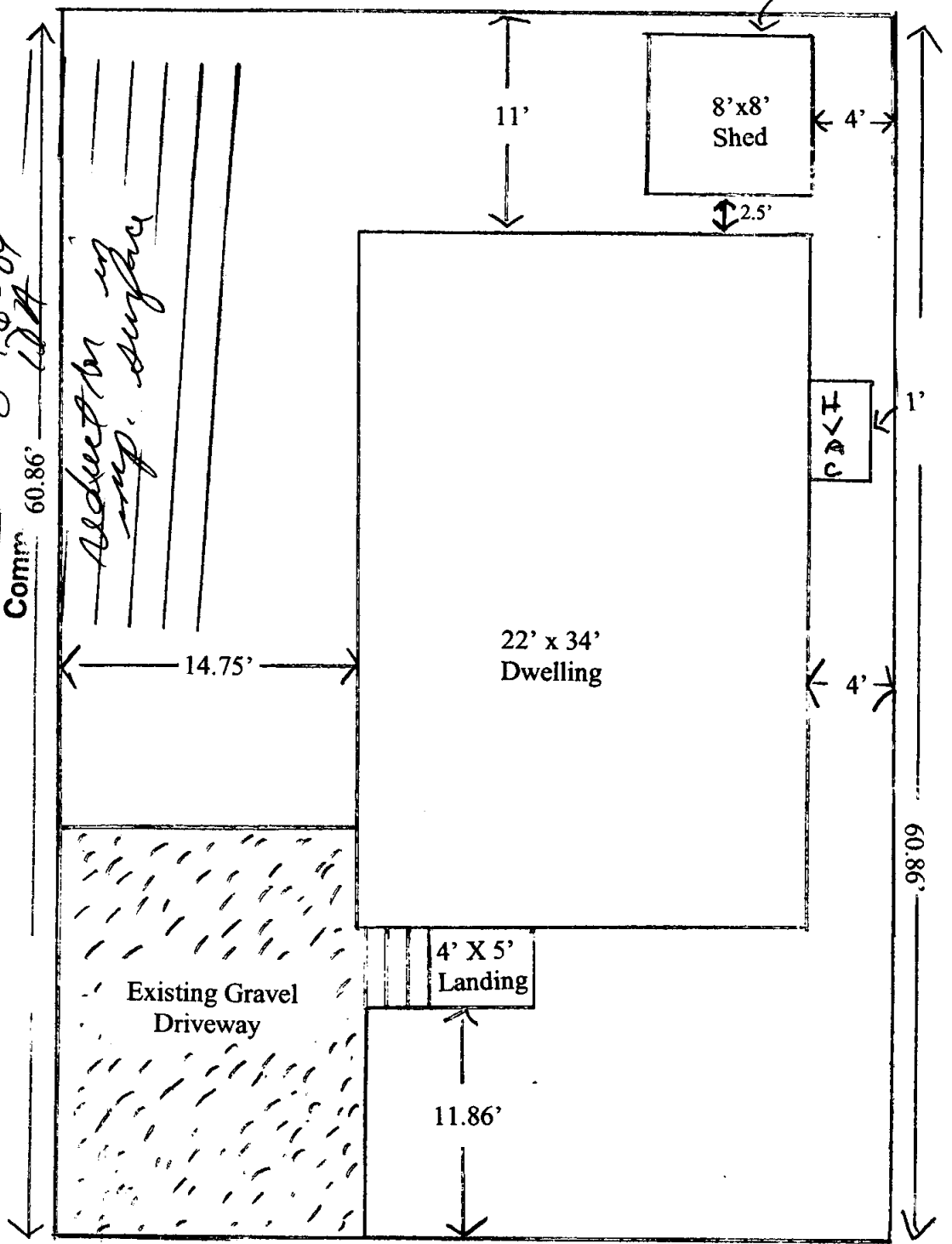
ALL MINIMUM SETBACKS MEASURED TO FINISHED WALL SURFACE

Worcester County Critical Area Reviewed

By: *J. Wilton*
Date: *8-16-07*
Comm: *1277*

Adjust to imp. surface

WORCESTER CO. ZONING REVIEWED
BY: *Carol Rose*
DATE: *8/16/08*
COMMENT: *1716/885 SB 7189*
replace existing mobile w/ new 34x21
BPH 89034



40.75'

TIMBERLINE CIRCLE
40' ROW

PROPOSED IMPROVEMENTS

Lot 189 Timberline Circle

House	748
Steps/landing	32
Existing shed	64
Existing driveway	480
Total:	1,324 SF

SITE PLAN	
FOR	
STONE & VICKI YERK	
189 Timberline Circle	
White Horse Park	
TAX MAP NO.	16 P 85
DISTRICT	THIRD
SUBD.	WHITE HORSE PARK
SECT NO.	2
BLOCK NO.	-
LOT NO.	189
DEED REF.	SVH/4051/217
FLOOD ZONE	"B"

Foundation
Plans

GIVEN: MASONRY HOUSING 22' X 34'

FORM "B" ZONE

ALLOWABLE SOIL STRESS CAPACITY 2500 PSI

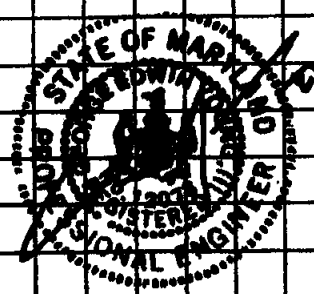
CONCRETE COMPRESSIVE STRENGTH 3000 PSI

OUTSIDE WALL PIERS 28" X 28" X 18"

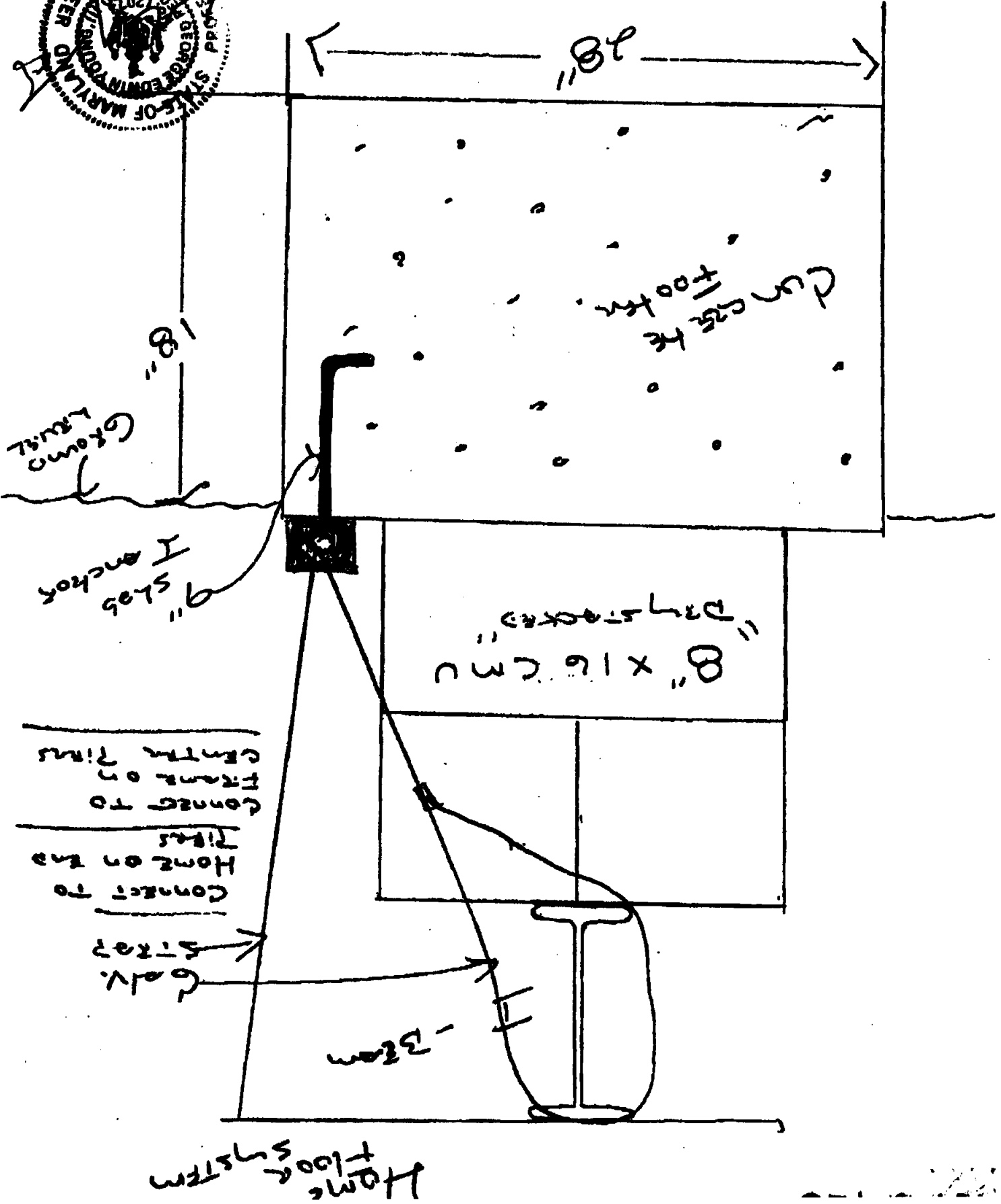
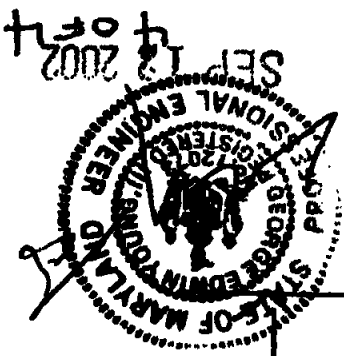
INTE PIERS 28" X 48" / 18" X 24"

MAXIMUM SPACING 10' CC

THIS CERTIFICATION IS FOR MASONRY
STRUCTURE PILES AS SHOWN ON SHEET
4 OF 4 NO ANALYSIS OF MASONRY
HOUSING WAS PERFORMED



SEP 12 2002



Connect to
Home on the
Ties
Connect to
Frame on
Center Ties

STRAPS ATTACHED TO HOME WALLS
CENTRAL PIPES HAVE
FRAMING STRAPS

Home

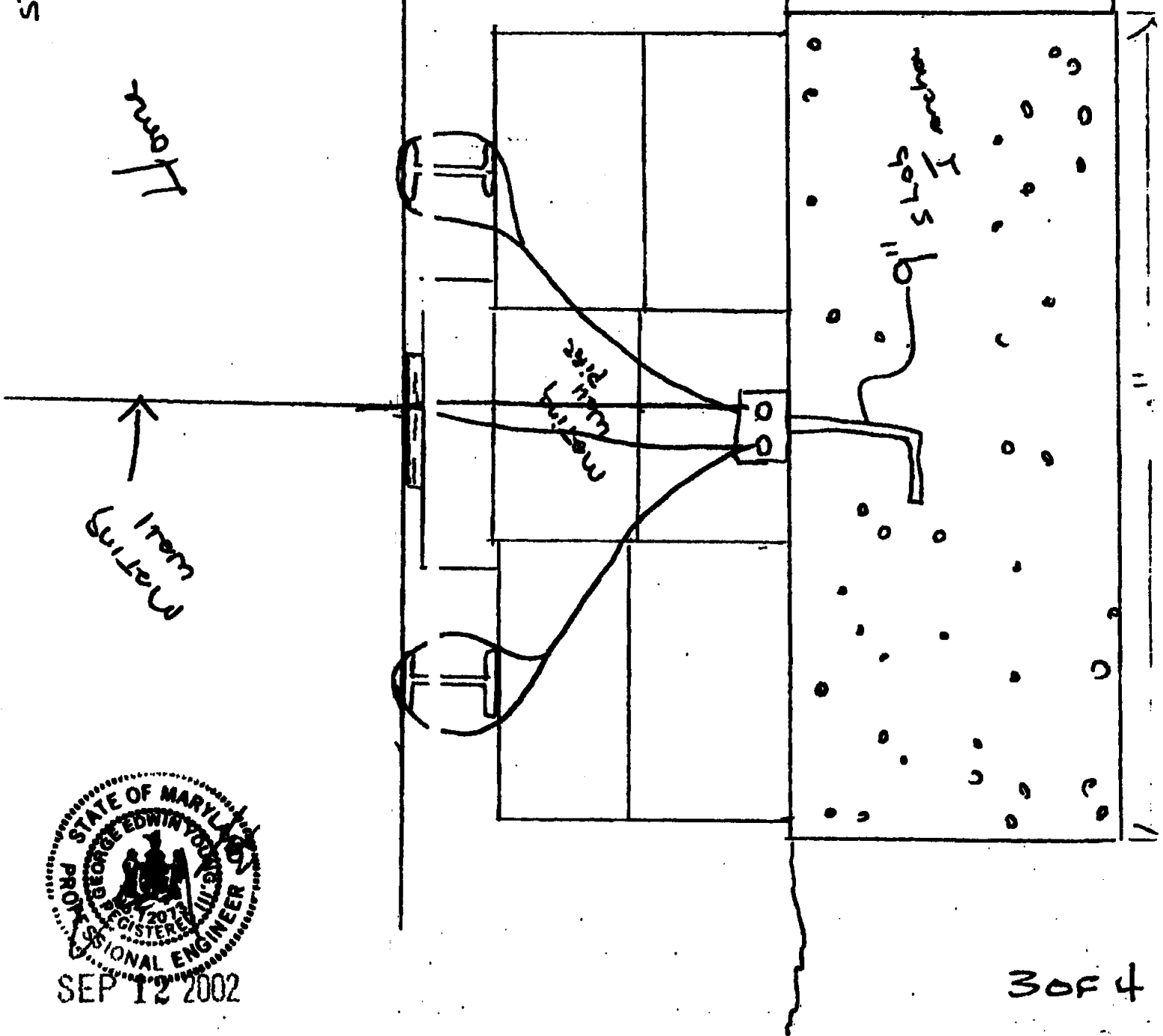
MATING
WALL

1500 PFS

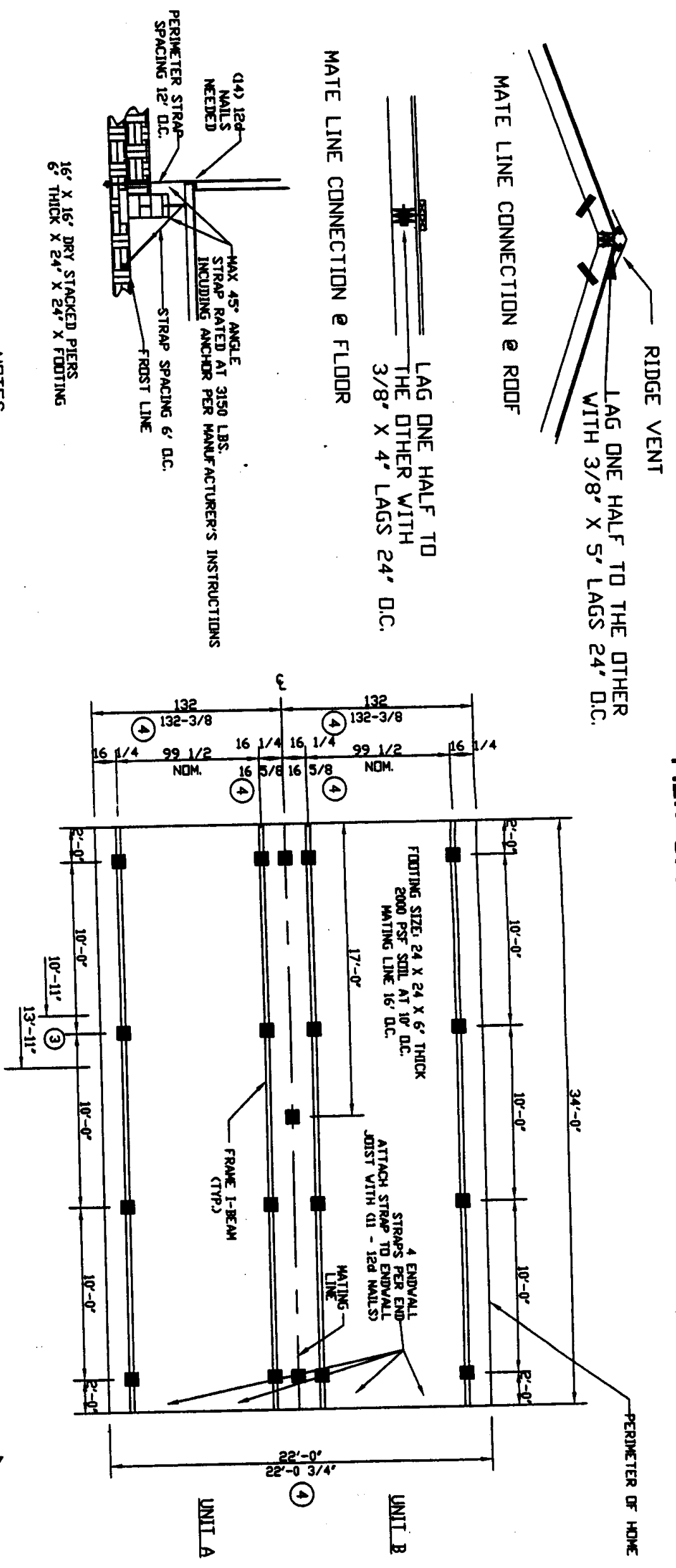
CONCRETE
LEVEL

6"

1" slab
above



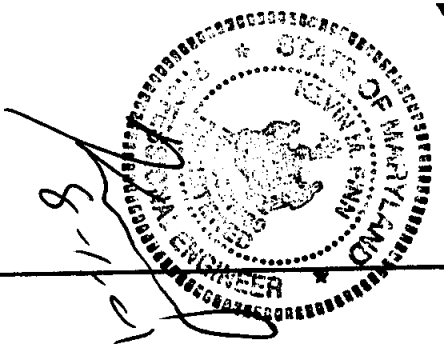
PIER SPACING 22' X 34' COTTAGE HOME RA-98



NOTES -

- ① MATING LINE SUPPORT PIER (TYP.), SUPPORT PIERS MUST BE CENTERED BENEATH EACH SUPPORT COLUMN PER FLOOR PLAN OR WHERE CLEAR SPANS IN MATING WALLS EXCEED 4'.
- ② MINIMUM CRAWLSPACE VENTILATION REQUIRED MUST BE 1/150 OF CRAWLSPACE AREA AND MUST MEET ALL LOCAL CODE REQUIREMENTS.
- ③ ENTRY DOOR OPENING
- ④ DIMENSIONS WITH 3/8" O.S.B. TREATMENT TO MARRIAGE LINE OF HOME. FOUNDATION SIZING SHOWN ON THIS DRAWING REFLECTS EXACT DIMENSIONS OF THE MANUFACTURED HOME (WITH AND W/O O.S.B. TREATMENT TO THE MARRIAGE LINE OF THE HOME), DUE TO FLUCTUATIONS IN SITE CONDITIONS, SET-UP TREATMENTS, MATERIALS, ETC. IT MAY BE NECESSARY TO ADD MATERIAL TO THE FOUNDATION WALLS TO ACCOUNT FOR ANY OVER WIDTH CONDITIONS AFTER THE HOME IS INSTALLED ON THE FOUNDATION (SUCH MATERIAL I.E. FOAMBOARD, OSB, etc., MUST BE LISTED FOR EXTERIOR USE AND SHALL BE PROVIDED ON SITE BY OTHERS).
- ⑤ FOOTING SIZE BASED ON ASSUMED 2000 PSF SOIL BEARING CAPACITY
- ⑥ FOUNDATION WALL SHOWN FOLLOWING THE RECESSED SIDEWALL. IF A STRAIGHT FOUNDATION WALL IS INSTALLED, COMMODORE DOES NOT ACCEPT RESPONSIBILITY FOR ANY STRUCTURAL, THERMAL OR MOISTURE PROBLEMS. FOR BEST RESULTS THE FOUNDATION WALL SHOULD FOLLOW THE SIDEWALL, NO MATTER WHAT THE CONFIGURATION.

**MAX. 20 PSF.
ROOF LOAD**



THE COMMODORE CORPORATION DECLINES ANY RESPONSIBILITY FOR THIS FOUNDATION LAYOUT. IT IS RECOMMENDED THAT YOU CHECK LOCAL CODES AND/OR CONSULT A QUALIFIED ENGINEER IN YOUR AREA TO APPROVE THE FOUNDATION SYSTEM.

NOTE - IF HOME IS NOT INSTALLED ON A FULL PERIMETER FOUNDATION, FOOTING AND BLOCKING IS REQUIRED AT EACH END OF SIDEWALL OPENINGS OR SPANS THAT ARE 48" OR GREATER. PLACE PIERS BENEATH EACH DOOR OPENING SHOWN ON THE ABOVE SCHEMATIC. REFER TO INSTALLATION INSTRUCTIONS FOR APPLICABLE DESIGN RECOMMENDATIONS.



The Commodore Corporation

TITLE	99 1/2' I-BEAM PIER BLOCKING	DATE	REVISION	SCALE	DATE	DWG. NO.
			DESCRIPTION	N.T.S.	7/31/01	RA-98
				DVN. BY	REFERENCE	FOUND.
				TAS	ORIG.	
				STANDARD FRAME		

OFFICE MAILING ADDRESS: MAJORWOOD HOMES INC.
 DIV. OF COMMODORE HOMES
 P.O. BOX 169, RT. 443
 PINE GROVE, PA 17963

DESIGN CRITERIA
 CONST. TYPE: 5B
 USE GROUP: R4
 OCCUPANCY: ONE & TWO FAMILY DWELLINGS

STORES ABOVE FOUNDATION: 1
 BUILDING HEIGHT ABOVE FOUNDATION: VARIES DUE TO CEILING HEIGHT AND AVAILABLE ROOF PITCH
 EXTERIOR WALL FIRE RATING: 0
 AVAILABLE ROOF PITCH: 4/12, 5/12, 7/12, 9/12, 12/12

TRUSSES:
 TOP CHORD LIVE LOAD = 45 PSF
 TOP CHORD DEAD LOAD = 10 PSF
 ATTIC STORAGE BOTTOM CHORD LIVE LOAD = 20 PSF
 CAPE TRUSS BOTTOM CHORD LIVE LOAD = 30 PSF
 BOTTOM CHORD DEAD LOAD = 10 PSF

FLOORS:
 NON-SLEEPING AREAS - LIVE LOAD = 40 PSF
 SLEEPING AREAS - LIVE LOAD = 30 PSF
 DEAD LOAD = 10 PSF OR ACTUAL WEIGHT
 WIND SPEED: 90 MPH, Exp. C

FIRE PROTECTION SYSTEM:
 SMOKE ALARMS AS PER STATE CODES
 FLAME SPREAD IS LESS THAN OR EQUAL TO 200 (CLASS III)

HEATING SYSTEMS:
 ELECTRIC BASEBOARD: 250 WATTS/FT. PLANT INSTALLED
 HOT WATER RADIATOR: 550 BTU/FT W/180F DEG. WATER
 ● 1 GPM. RADIATOR INSTALLED, STUBBED THRU FLOOR, FIRST FLOOR
 INTERCONNECTED TOGETHER WHEN POSSIBLE.
 FORCED HOT AIR, METAL OR FIBERGLASS CLOTHWORK PARTIALLY INSTALLED
 FURNACES AND OR HEAT PUMPS TO BE INSTALLED ON-SITE ACCORDING
 TO ALL STATE AND LOCAL CODES.

VENTILATION:
 BATH FANS TO PROVIDE A MINIMUM AIR EXCHANGE OF 50 CFM
 KITCHEN RANGE EXHAUST FAN TO PROVIDE AN AIR EXCHANGE
 OF 100 CFM AND MUST BE VENTED TO THE EXT. UNLESS RECYCLE TYPE
 HOOD IS BEING USED.

1. IT IS MANDATORY FOR THE BUILDER TO COMPLETE THIS HOME IN COMPLIANCE WITH ANY LOCAL OR STATE ENERGY CONSERVATION REQUIREMENTS. ADDITIONAL SITE WORK MAY BE, BUT NOT LIMITED TO:
- a. FLOOR INSULATION - CRAWL SPACE
 - b. FOUNDATION WALL INSULATION - BASEMENT
 - c. PERIMETER INSULATION - SLABS
 - d. INSULATION - PIPING EXPOSED TO UNCONDITIONED SPACES
- THE ABOVE MUST BE ACCOMPLISHED WITHIN STATE CODE REQUIREMENTS.
2. BUILDER RESPONSIBLE TO FILE THE REQUIRED CERTIFICATION FORMS WITH THE LOCAL ELECTRIC UTILITY PRIOR TO OBTAINING PERMANENT ELECTRIC SERVICE.

STATE CODES:
 MARYLAND
 2000 INTERNATIONAL RESIDENTIAL 1 & 2 FAMILY DWELLING CODE W/
 STAIRS BUILT TO 1992 CABD
 1999 NATIONAL ELECTRICAL CODE
 2000 INTERNATIONAL ENERGY CONSERVATION CODE
 2000 NFPA 101 (LIFE SAFETY)-2000 W/ MODIFICATIONS

GENERAL NOTES

LABEL LOCATIONS FOR SINGLE DWELLING
 STATE, IBC, THIRD PARTY, AND DATA LABELS SHALL BE MOUNTED ON WALL BELOW KITCHEN SINK, WHERE THIRD PARTY, STATE, AND IBC LABELS ARE REQUIRED ON ALL HOME SECTIONS. ADDITIONAL LABELS ARE LOCATED IN SECONDARY BEDROOM CLOSET.

LABEL LOCATIONS FOR DUPLEX OPTIONS:
 THIRD PARTY & DATA PLATE ● KITCHEN SINK EACH LIVING UNIT
 STATE LABEL ● KITCHEN SINK, LEFT LIVING UNIT ONLY

THESE DRAWINGS ARE THE PROPERTY OF MAJORWOOD HOMES INC. (HEREIN AFTER REFERRED TO AS MAJOR) AND SHALL NOT BE REPRODUCED AND OR COPIED WITHOUT AUTHORIZATION.

MAJOR WILL BE CONSIDERED AS A SUB-CONTRACTOR IN ALL BUILDING PROJECTS, SUPPLYING A BUILDING COMPONENT TO A GENERAL CONTRACTOR OR BUILDER. ALL NOTES WITH REFERENCE TO "IN-FIELD", "ON-SITE" OR "BY BUILDER" ARE PERTAINING TO THE RESPONSIBILITIES OF THE GENERAL CONTRACTOR.

THE DRAWINGS IN THIS SUBSET SHOULD NOT BE SCALED FOR DIMENSIONAL REFERENCE. ALL DIMENSION LINES AND NOTES SUPERCEDE ANY SUCH REFERENCE.

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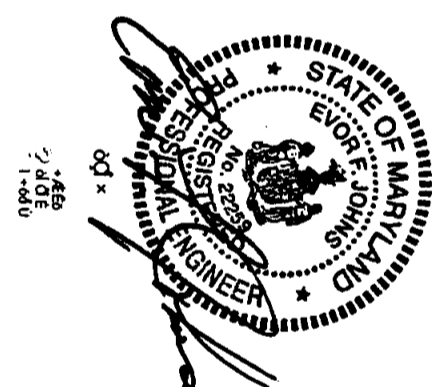
THE DRAWINGS IN THIS SUBSET SHOULD NOT BE SCALED FOR DIMENSIONAL REFERENCE. ALL DIMENSION LINES AND NOTES SUPERCEDE ANY SUCH REFERENCE.

DISCRETE MODELS (PLANS HAVING SIMILAR ROOM ARRANGEMENT OR ARCHITECTURAL STYLE) SHALL BE PREPARED FROM THESE DRAWINGS WITHOUT MODIFICATION, ADDITION OR DELETION IN ANY MANNER.

DRAWING INDEX

NO.	DESCRIPTION	DRAWN	REV.	DATE
0	COVER	06-02-03	1	03-25-03
1	FLOOR PLANS AND NOTES (FIRST FLOOR)	06-02-03	NA	NA
2	FOUNDATION	06-02-03	NA	NA
3	ELEVATIONS	11-23-02	1	03-24-03
3A	ELEVATIONS	04-26-03	NA	NA
3B	ELEVATIONS	04-26-03	NA	NA
4	CROSS SECTION	11-21-02	2	03-24-03
4A	CROSS SECTION-TRUSS	N/A	NA	NA
5	ELECTRICAL (MASTER)	11-23-02	NA	NA
5A	ELECTRICAL (FIRST FLOOR)	N/A	NA	NA
6	D.W.V. & WATER LINES (MASTER)	11-23-02	NA	12-10-02
	THERMAL COMPLIANCE (SEE ATTACHED)	06-02-03	NA	NA

APPROVAL STAMP

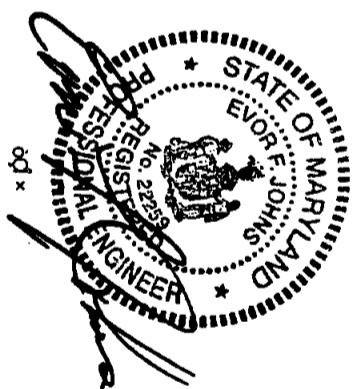
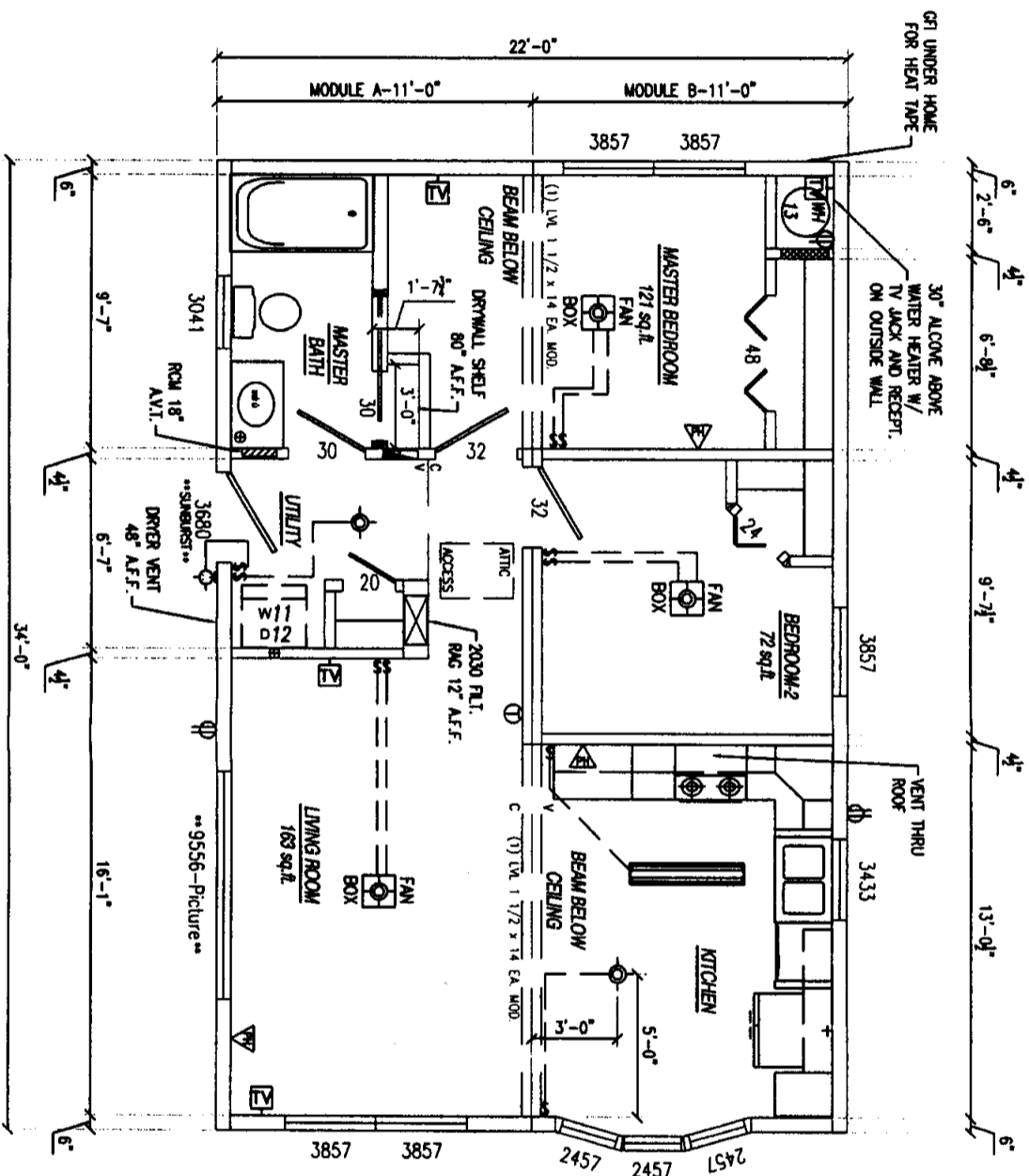


Majorwood Homes
 44 Freedom Valley Dr
 P.O. Box 169
 Pine Grove, PA 17963
 (570)343-0387
 (800)445-4896

REGENT
 CUSTOMER: CUSTOMER

COVER SHEET
 TITLE: 22 X 34
 S/N: RA098
 STATE: MD
 SCALE: Not To Scale
 DRAWN: JMH
 DATE: 06-02-03
 SHEET NO.: 0

EXPOSURE: 110 MPH, EXP. C
 ROOF LOAD: 45 PSF

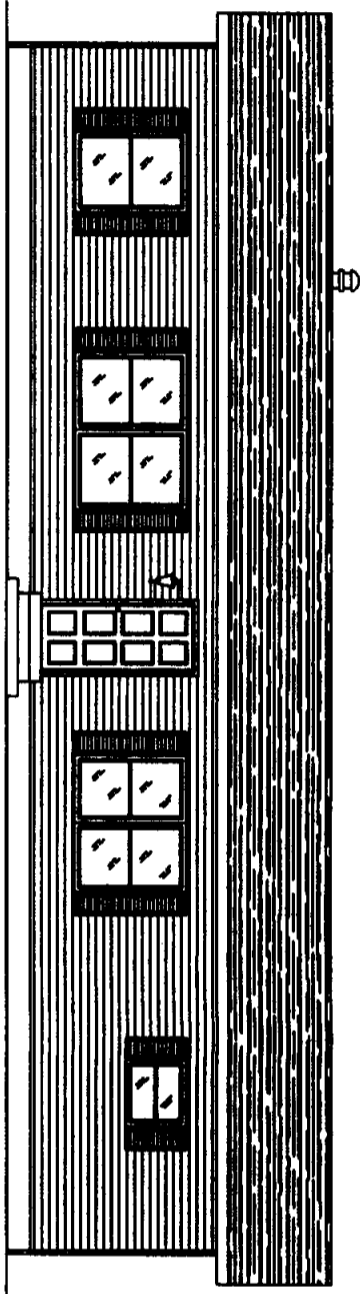


This Drawing is for REFERENCE ONLY and may be used in conjunction with STRUCTURAL DRAWINGS AND DETAILS. These plans are drawn as APPROXIMATE REPRESENTATIONS. Actual dimensions may differ due to appearance may differ over all construction techniques and conditions that are beyond MANORWOOD'S control. In Signing, I Acknowledge I Have Reviewed And Accept This Print.

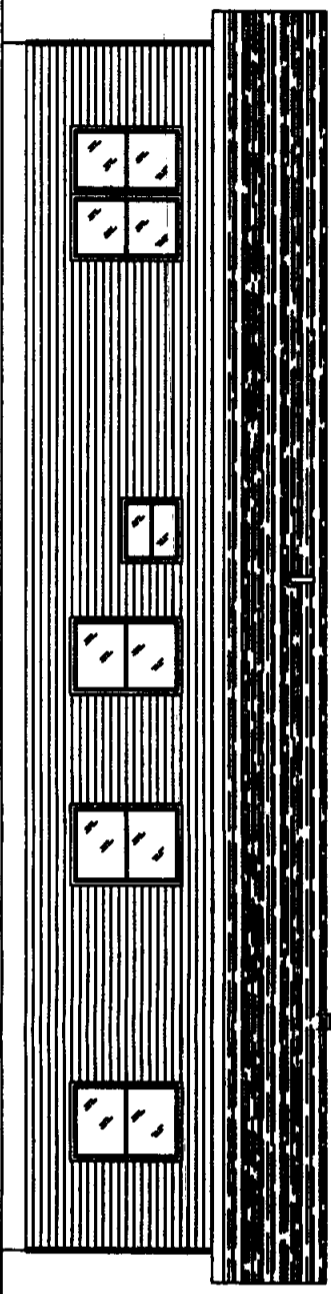
- NOTES:
 1. SHIP LOOSE FRONT DOOR AND (3) 3057 WINDOWS. OSB OVER THE OPENINGS.
 2. HOLD DRYWALL BACK 12" ON GABLE ENDWALLS AT MARRIAGE FOR ON-SITE FINISHING.

TITLE: 22 X 34 PRELIMINARY FLOOR PLAN		DEALER: REGENT CUSTOMER: CUSTOMER		NO. DATE	
S/N: RA098 STATE: MD		SCALE: 1/8" : 1'-0"		REVISIONS	
REFERENCE PROJ.: 2867 DRAWN: JMH		DATE: 06-02-03 SHEET NO.: 1		46 Pleasant Valley Road P.O. Box 169 Route 443 Pine Grove PA 17963 (570)345-0387 (800)445-4898	

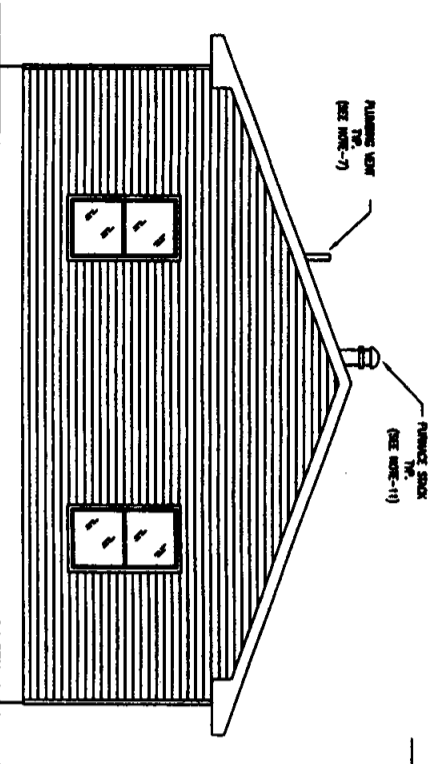




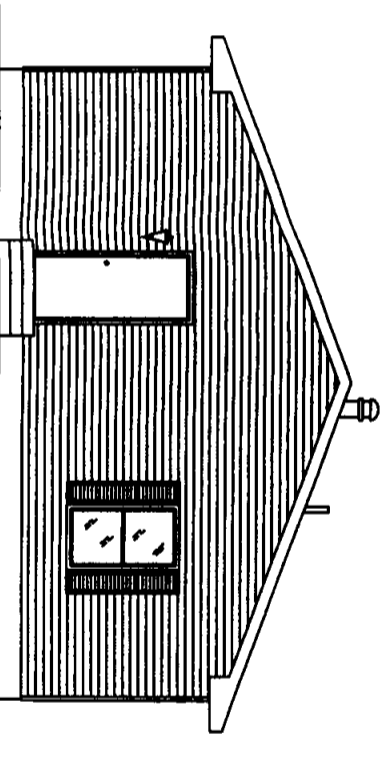
FRONT ELEVATION



REAR ELEVATION



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

NOTES:

- 1) EXTERIOR LIGHTS TO BE SHIPPED LOOSE FOR ON SITE INSTALLATION BY OTHERS
- 2) SIDING FOR ENDS IS SHIPPED FOR ON SITE INSTALLATION BY OTHERS
- 3) HANDRAILS, STAIRS, STAIRS, GUTTERS, DOWNSPOUTS AND SPLASH BLOCKS ARE FURNISHED AND INSTALLED BY OTHERS IN ACCORDANCE WITH STATE AND LOCAL CODES
- 4) ALL ELEVATIONS ARE SHOWN WITH 5/12 ROOF PITCH. OTHER AVAILABLE ROOF SYSTEMS ARE : 3/12 AND 7/12.
- 5) THE SIZE AND NUMBER OF WINDOWS VARIES ACCORDING TO EACH INDIVIDUAL FLOOR PLAN.
- 6) MASONRY VENEER OR OTHER FOUNDATION FACING IS FURNISHED AND SITE INSTALLED BY OTHERS
- 7) ALL DRAIN AND WASTE VENTS SHALL TERMINATE A MINIMUM OF 12" ABOVE THE ROOF LINE.
 MASS. : ALL VENTS WHICH PASS THROUGH ROOF MUST TERMINATE 18" TO 24" ABOVE THE ROOF LINE.
- 8) PATIO DOORS AVAILABLE ACCORDING TO FLOOR PLAN
- 9) SIDING SHOWN IS 4", OTHER SIDINGS ARE AVAILABLE
- 10) SHUTTERS STANDARD FRONT AND RIGHT SIDE
 SHUTTERS OPTIONAL REAR AND LEFT SIDE
- 11) TERMINATION HEIGHT OF METAL CHIMNEYS WILL BE A MIN. 3'-0" ABOVE THE HIGHEST POINT WHERE THEY PASS THRU THE ROOF AND A MIN. OF 2'-0" HIGHER THAN ANY PORTION OF A BUILDING WITHIN 10'-0" (CHIMNEY TO BE INSTALLED ON SITE BY OTHERS)
- 12) ATTIC ROOF SPACE VENTILATION SHALL BE 1/300 OF ROOF AREA WITH UPPER HALF PROVIDING 50% OF VENTILATION

Maybrook Homes
 447 Pleasant Valley Rd.
 P.O. Box 169
 Suite 447
 New Green Pt 1796
 (570)345-0387
 (800)445-0895

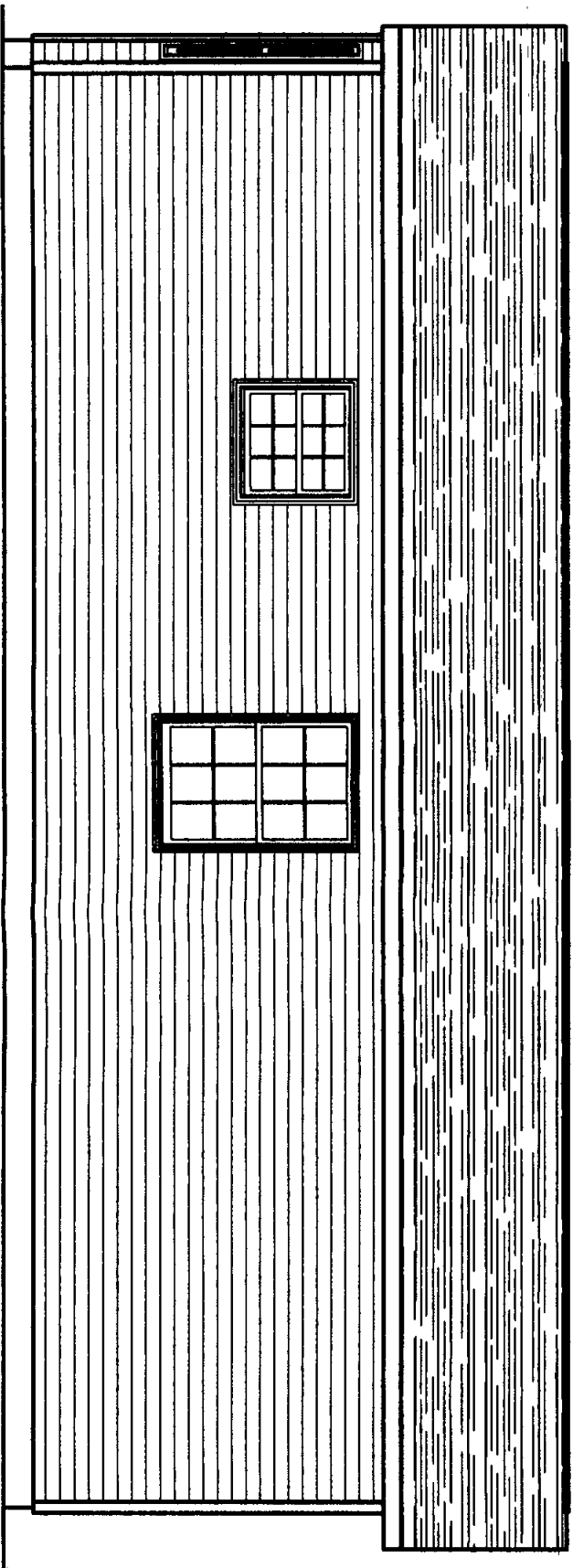
NO.	DESCRIPTION	DATE	BY
1	REVISED	11-23-2002	PLW
2	REVISED		
3	REVISED		

DEALER: VARIES
 CUSTOMER: VARIES

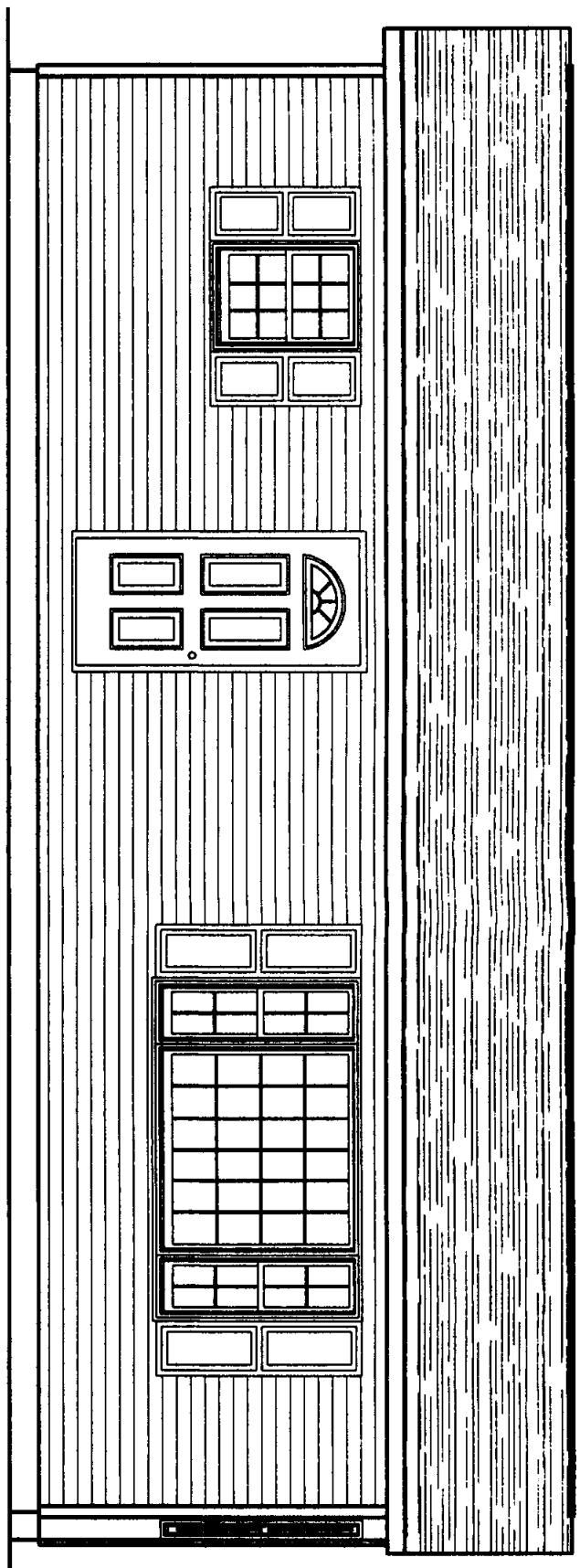
TITLE: TYPICAL ELEVATIONS
 DRAWN: PLW
 DATE: 11-23-2002
 SHEET NO: 3

APPROVAL STAMP

STATE OF MARYLAND
 EVOR F. JOHNS
 PROFESSIONAL ENGINEER
 No. 23225



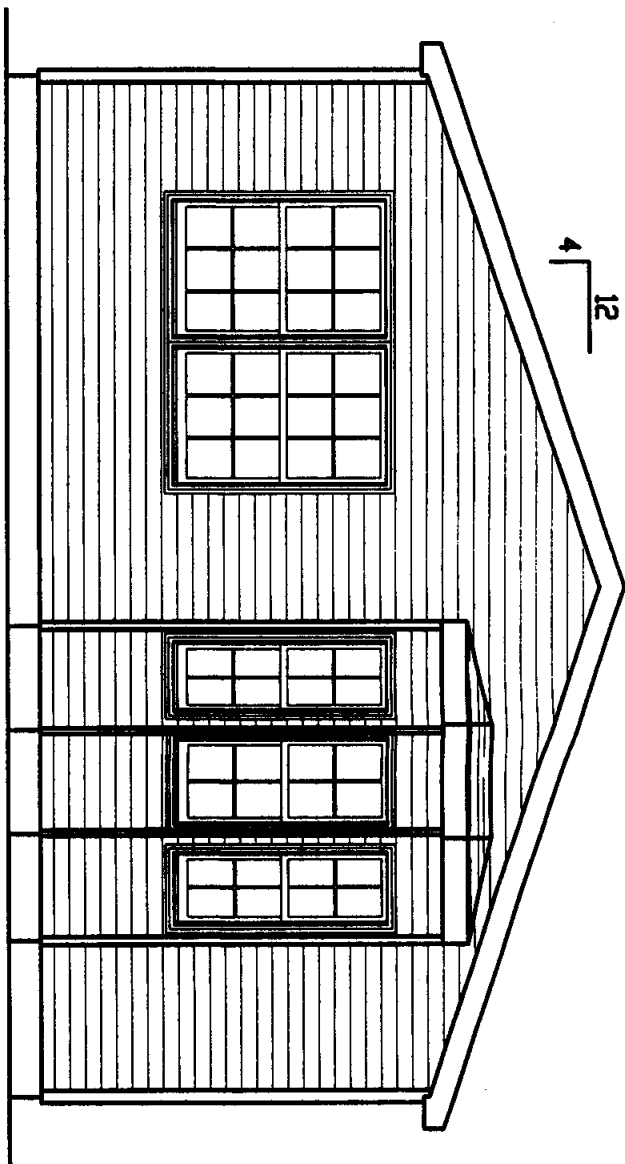
REAR ELEVATION



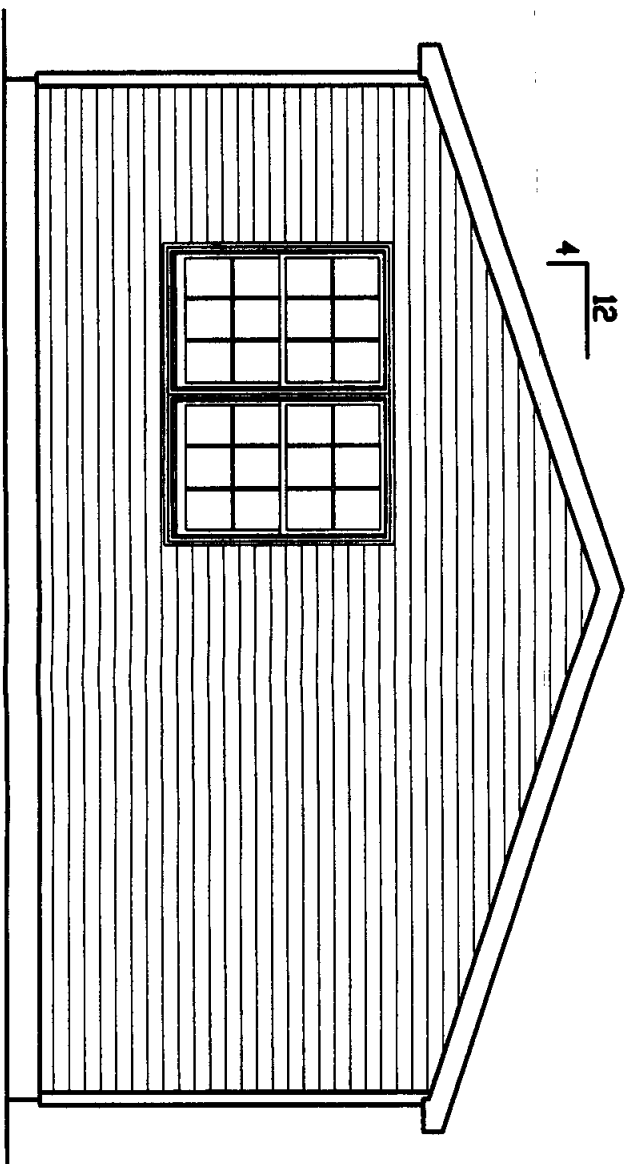
FRONT ELEVATION



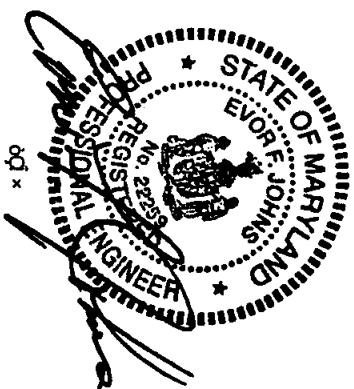
S/N: RA098-A	TITLE: 22-0 x 34-0	DEALER: REGENT	BY DATE	BY DATE	BY DATE
		CUSTOMER: CUSTOMER			
STATE: MD	SCALE: 1/4"=1'	ELEVATIONS FRONT & REAR			
DATE: 4-26-2003	DRAWN: RJW	<p>Maplewood Homes 46 Federal Valley Road P.O. Box 119 Lisle, IL 60532 Phone: (708) 345-0387 Fax: (708) 345-4898</p>			
SHEET NO: 3A					



RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION



Maplewood Homes
 44 Fremont Valley Rd.
 P.O. Box 119
 Ames, IA 50041
 (570) 345-0387
 (800) 445-4896

NO.	REVISIONS	DATE	BY	DATE

DEALER:
REGENT
 CUSTOMER:
CUSTOMER

TITLE:
22-0 x 34-0
 ELEVATIONS
 RIGHT & LEFT SIDES

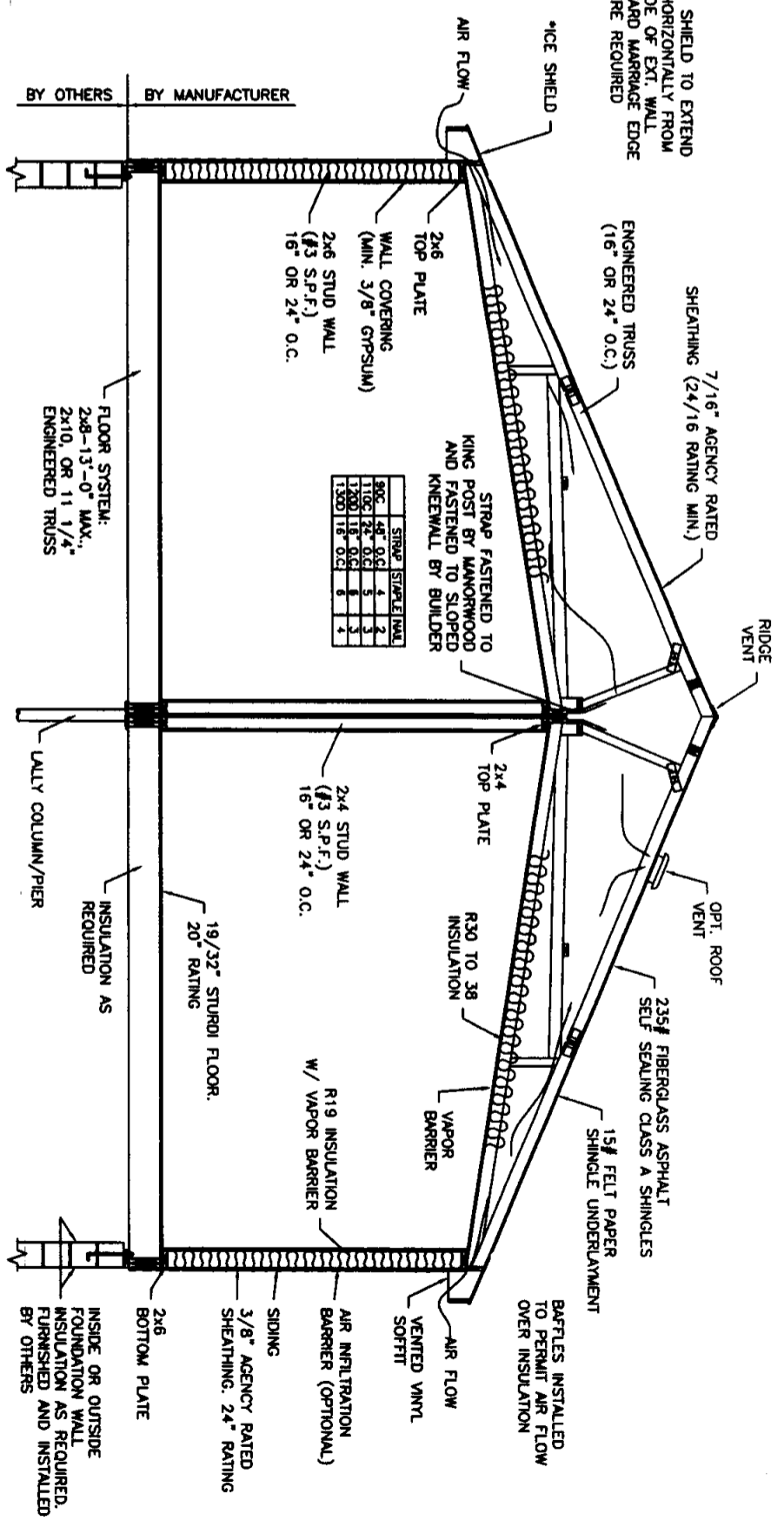
S/N:
RA098-A
 STATE: SCALE:
MD 1/4" = 1'

DATE: **4-26-2003**
 DRAWN: **RLJM**
 SHEET NO.: **3B**

HIGH WIND FASTENING

10 MPH, Exp. C	SEEWALL	1 SCREW TOED 12" O.C.	1 SCREW TOED
1 TRUSS TO TOP PLATE	3 NAILS FACE NAILED AND STRAP 48" O.C. WITH 2 NAILS	3 NAILS FACE NAILED AND STRAP 48" O.C. WITH 2 NAILS	3 NAILS FACE NAILED AND STRAP 48" O.C. WITH 2 NAILS
2 STUDS	4 NAILS FACE NAILED AND STRAP 16" O.C. WITH 4 NAILS	4 NAILS FACE NAILED AND STRAP 16" O.C. WITH 4 NAILS	4 NAILS FACE NAILED AND STRAP 16" O.C. WITH 4 NAILS
3 ALTERNATE TOP PLATE TO STUDS	4 NAILS FACE NAILED AND STRAP 16" O.C. WITH 4 NAILS	4 NAILS FACE NAILED AND STRAP 16" O.C. WITH 4 NAILS	4 NAILS FACE NAILED AND STRAP 16" O.C. WITH 4 NAILS
4 TO DECK RIM JOIST	1 NAIL 12" O.C.	1 NAIL 12" O.C.	1 NAIL 12" O.C.
5 STUDS TO DECK RIM JOIST	WALL SHIT'G FAST. W/ 4 STAPLES EVERY 12"	WALL SHIT'G FAST. W/ 4 STAPLES EVERY 12"	WALL SHIT'G FAST. W/ 2 STAPLES EVERY 12"
6 ROOF SHIT'G TO TRUSS TOP CHORD	STAND. FASTENING		
110 MPH, Exp. C	SEEWALL	1 SCREW TOED 12" O.C.	2 SCREWS TOED
1 TRUSS TO TOP PLATE	3 NAILS FACE NAILED AND STRAP 32" O.C. WITH 4 NAILS	3 NAILS FACE NAILED AND STRAP 32" O.C. WITH 4 NAILS	3 NAILS FACE NAILED AND STRAP 32" O.C. WITH 4 NAILS
2 STUDS	4 NAILS FACE NAILED AND STRAP 16" O.C. WITH 4 NAILS	4 NAILS FACE NAILED AND STRAP 16" O.C. WITH 4 NAILS	4 NAILS FACE NAILED AND STRAP 16" O.C. WITH 4 NAILS
3 ALTERNATE TOP PLATE TO STUDS	4 NAILS FACE NAILED AND STRAP 16" O.C. WITH 4 NAILS	4 NAILS FACE NAILED AND STRAP 16" O.C. WITH 4 NAILS	4 NAILS FACE NAILED AND STRAP 16" O.C. WITH 4 NAILS
4 TO DECK RIM JOIST	1 NAIL 8" O.C.	1 NAIL 8" O.C.	1 NAIL 8" O.C.
5 STUDS TO DECK RIM JOIST	WALL SHIT'G FAST. W/ 4 STAPLES EVERY 12"	WALL SHIT'G FAST. W/ 4 STAPLES EVERY 12"	WALL SHIT'G FAST. W/ 3 STAPLES EVERY 12"
6 ROOF SHIT'G TO TRUSS TOP CHORD	STAND. FASTENING		
130 MPH, Exp. D	SEEWALL	1 SCREW TOED 12" O.C.	2 SCREWS TOED
1 TRUSS TO TOP PLATE	3 NAILS FACE NAILED AND STRAP 16" O.C. WITH 4 NAILS	4 NAILS FACE NAILED AND STRAP 16" O.C. WITH 4 NAILS	4 NAILS FACE NAILED AND STRAP 16" O.C. WITH 4 NAILS
2 STUDS	4 NAILS FACE NAILED AND STRAP 16" O.C. WITH 4 NAILS	4 NAILS FACE NAILED AND STRAP 16" O.C. WITH 4 NAILS	4 NAILS FACE NAILED AND STRAP 16" O.C. WITH 4 NAILS
3 ALTERNATE TOP PLATE TO STUDS	4 NAILS FACE NAILED AND STRAP 16" O.C. WITH 4 NAILS	4 NAILS FACE NAILED AND STRAP 16" O.C. WITH 4 NAILS	4 NAILS FACE NAILED AND STRAP 16" O.C. WITH 4 NAILS
4 TO DECK RIM JOIST	1 NAIL 8" O.C.	1 NAIL 8" O.C.	1 NAIL 8" O.C.
5 STUDS TO DECK RIM JOIST	WALL SHIT'G FAST. W/ 6 STAPLES EVERY 12"	WALL SHIT'G FAST. W/ 6 STAPLES EVERY 12"	WALL SHIT'G FAST. W/ 4 STAPLES EVERY 12"
6 ROOF SHIT'G TO TRUSS TOP CHORD	STAND. FASTENING		
130 MPH, Exp. D	SEEWALL	1 SCREW TOED 12" O.C.	2 SCREWS TOED
1 TRUSS TO TOP PLATE	4 NAILS FACE NAILED AND STRAP 16" O.C. WITH 4 NAILS	4 NAILS FACE NAILED AND STRAP 16" O.C. WITH 4 NAILS	4 NAILS FACE NAILED AND STRAP 16" O.C. WITH 4 NAILS
2 STUDS	4 NAILS FACE NAILED AND STRAP 16" O.C. WITH 4 NAILS	4 NAILS FACE NAILED AND STRAP 16" O.C. WITH 4 NAILS	4 NAILS FACE NAILED AND STRAP 16" O.C. WITH 4 NAILS
3 ALTERNATE TOP PLATE TO STUDS	4 NAILS FACE NAILED AND STRAP 16" O.C. WITH 4 NAILS	4 NAILS FACE NAILED AND STRAP 16" O.C. WITH 4 NAILS	4 NAILS FACE NAILED AND STRAP 16" O.C. WITH 4 NAILS
4 TO DECK RIM JOIST	1 NAIL 5" O.C.	1 NAIL 5" O.C.	1 NAIL 5" O.C.
5 STUDS TO DECK RIM JOIST	WALL SHIT'G FAST. W/ 7 STAPLES EVERY 12"	WALL SHIT'G FAST. W/ 7 STAPLES EVERY 12"	WALL SHIT'G FAST. W/ 5 STAPLES EVERY 12"
6 ROOF SHIT'G TO TRUSS TOP CHORD	STAND. FASTENING		
STRAP-26GA X 1 1/2" X 3"			
STRAP-16GA X 1 1/2" X 7/16" CROWN			
NAIL-D.131 X 3"			

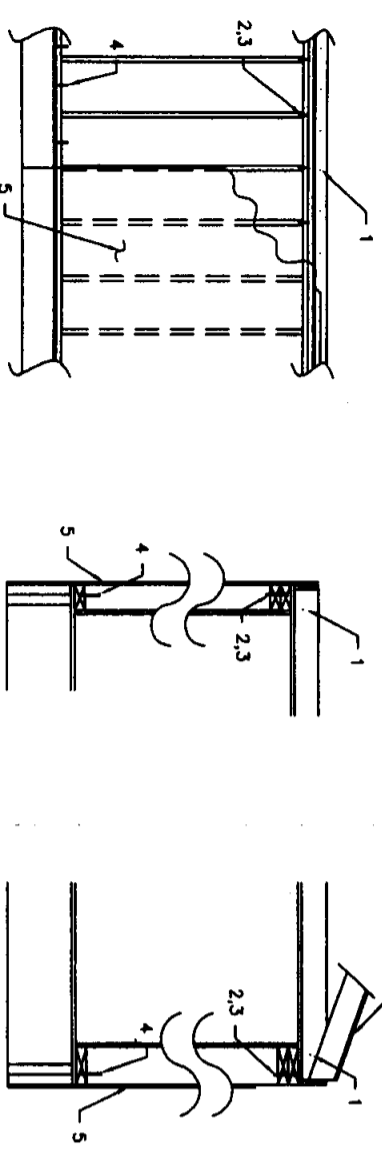
*ICE SHIELD TO EXTEND 2' HORIZONTALLY FROM INSIDE OF EXT. WALL TOWARD MARRIAGE EDGE WHERE REQUIRED



90C	48" O.C.	4	2
110C	32" O.C.	5	3
130C	16" O.C.	8	4
150C	8" O.C.	8	4

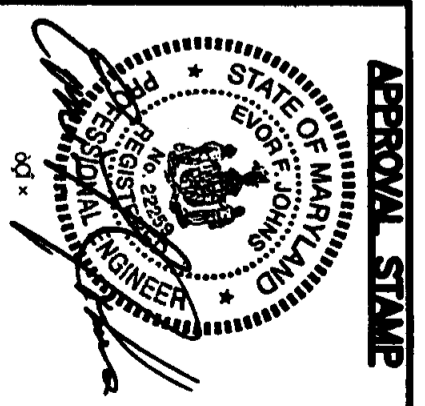
TYPICAL CROSS SECTION

AVAILABLE ROOF PITCHES: 4-7
12



ENDWALL FASTENING MATED WALL FASTENING SIDEWALL FASTENING

- FLOOR SYSTEM PERIMETER BAND JOINTS TO BE STAGGERED WITH NO SPLITS OR CHECKS.
- 2x8 OR 2x10 FLOOR SYSTEMS DO NOT HAVE HEAT DUCT CROSSOVERS (HDCC) THRU THE RIM JOISTS AND NOT TO BE CUT OR DRILLED THRU ON SITE UNLESS PROPERLY ENGINEERED BY OTHERS.
- A DOUBLE 2x12 RIM JOIST MAY BE NOTCHED OR DRILLED AT THE FACTORY TO ACCOMMODATE THE HDCC. THIS HAS BEEN ENGINEERED FOR THIS CONDITION AND THE FOUNDATION BY COMPOSITE/MANORWOOD. HAS BEEN DEVELOPED ACCORDINGLY. ANY CHANGES TO THE RIM JOIST ON-SITE MUST BE PROPERLY ENGINEERED BY OTHERS.
- WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD CLASSIFICATION 5 200.
- WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD CLASSIFICATION 5 200.
- HABITABLE SPACE MIN. CEILING HEIGHT TO BE 7'-6". HALLWAYS, CORRIDORS, BATHROOMS, TOILET ROOMS, LAUNDRY ROOMS, AND BASEMENTS TO HAVE A MIN. CEILING HEIGHT OF 7'-0" PER STATE AND LOCAL CODES.
- FIRE STOPPING SHALL COMPLY WITH STATE AND LOCAL CODES.
- THERMAL CALCULATIONS WILL BE SUBMITTED TO LOCAL BUILDING DEPARTMENT WITH PERMIT APPLICATION AS REQUIRED.
- FASTEN RIM JOIST BEAM AND/OR RIM JOIST AT MATING LINE TOGETHER WITH #8 X 3" WOOD SCREWS 32" O.C.



APPROVAL STAMP



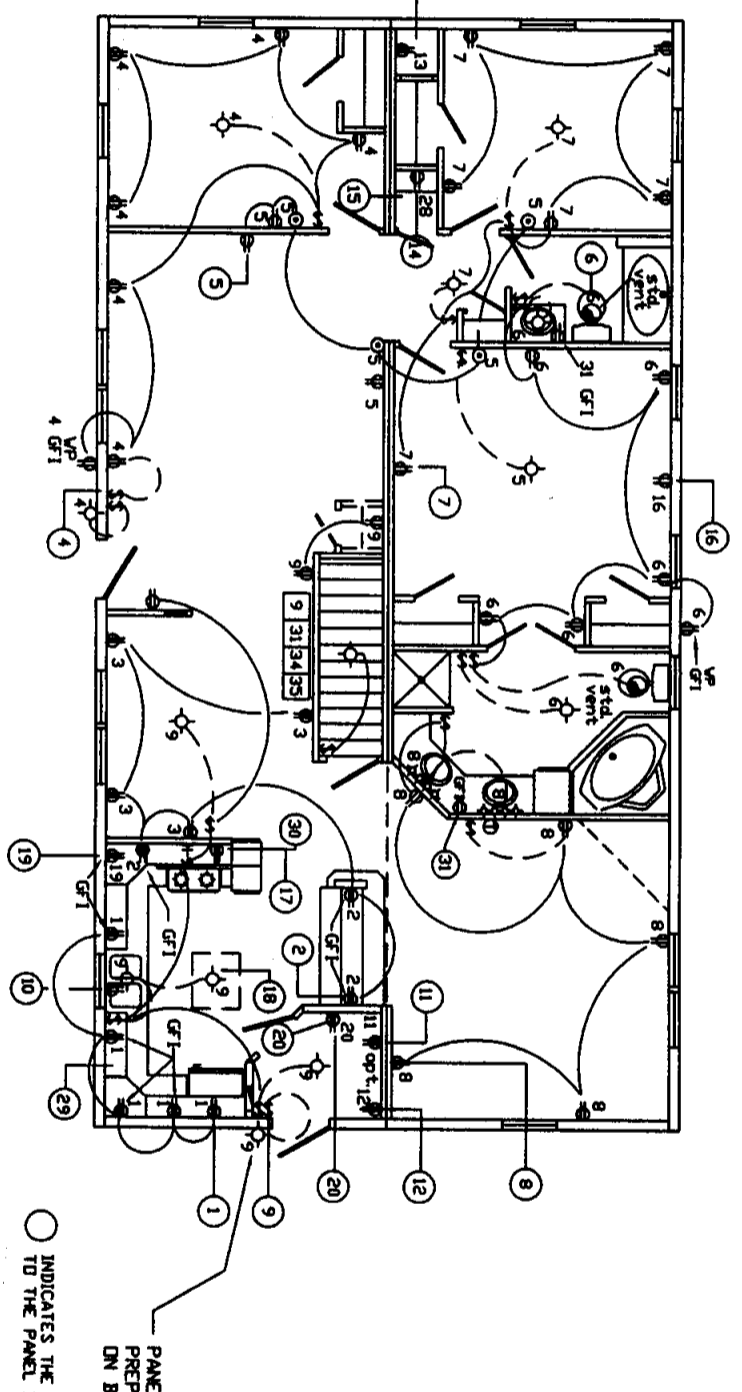
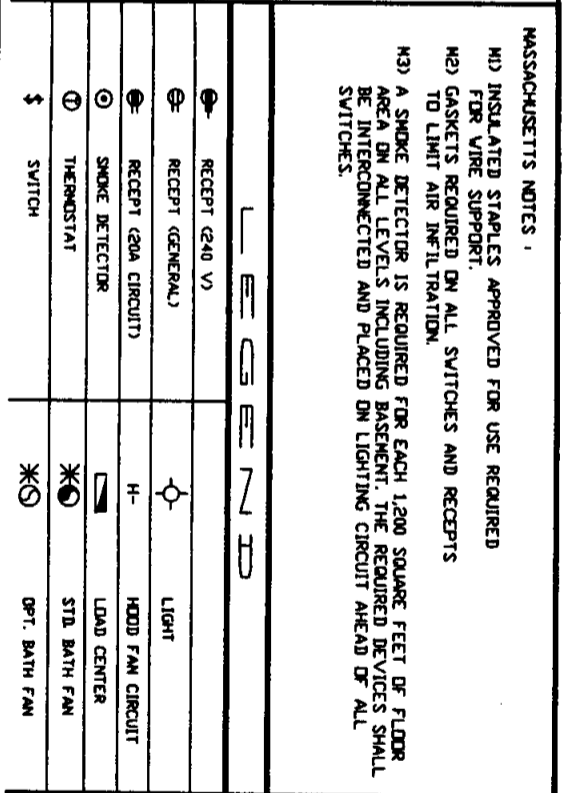
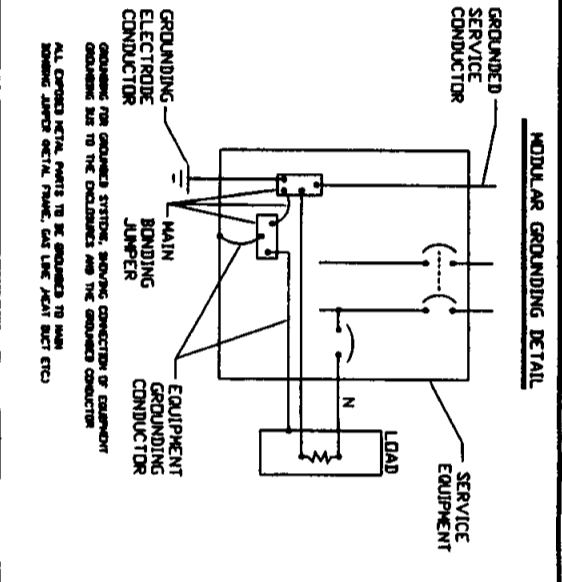
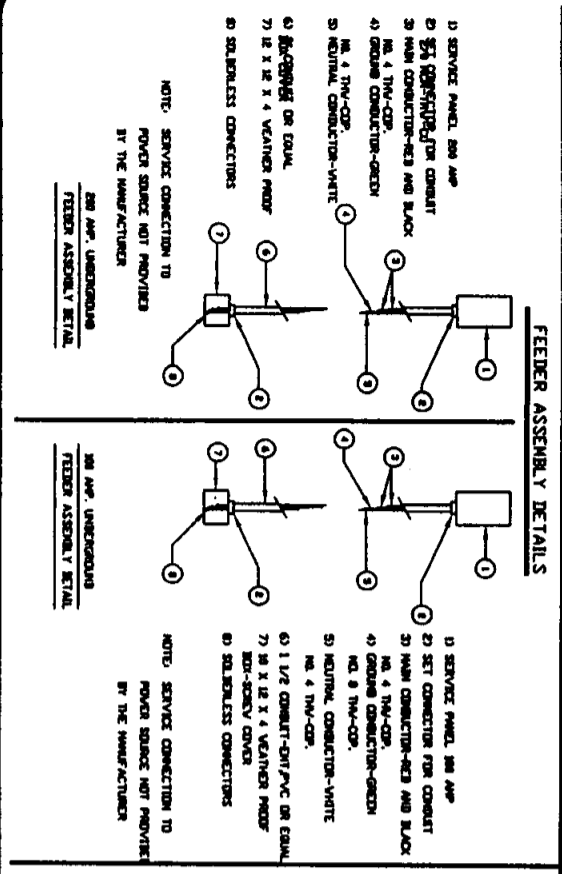
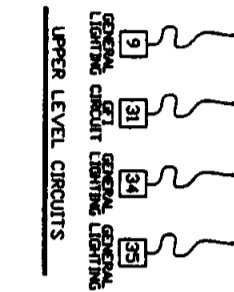
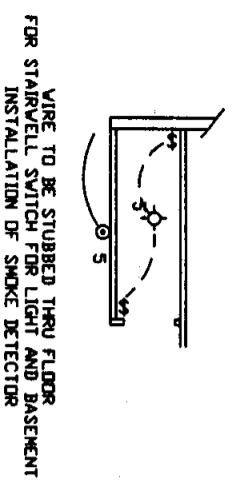
Manotwood Homes
445 Frederick Valley Rd.
P.O. Box 165
Ridge, MD 443
Frederick, MD 21785
(570) 345-0387
(800) 445-4886

NOTES:

- 1) RECEPT REQ'D. IN HALLWAY OVER 10' IN LENGTH
- 2) ALL CIRCUIT BREAKERS ARE 10,000 A/C
- 3) ALL ELECTRICAL WIRING TO BE IN COMPLIANCE WITH APPLICABLE STATE ELECTRICAL CODE
- 4) STD. ELECTRICAL SYSTEM IS #4 AWG CU FOR 100 AMP SERVICE
- 5) 2ND RECEPTS TO BE LOCATED OVER ANY PART OF ELECTRIC BASEBOARD HEATERS
- 6) SWITCHES & RECEPTS OVER KITCHEN C-TOP ARE ABOVE COUNTERTOP OR WITHIN 12" OF COUNTERTOP
- 7) SWITCHES & RECEPTS OVER BATH LAV ARE 42" OFF FLOOR
- 8) SWITCHES & RECEPTS MAY BE OF INTEGRAL ENCLOSURE TYPE
- 9) ALL OTHER RECEPTS ARE 14" OFF FLOOR
- 10) ALL BOX SIZING IN COMPLIANCE WITH APPLICABLE STATE ELECTRICAL CODE
- 11) BALL SMOKE DETECTORS ARE WALL MOUNTED AND WIRED IN SERIES ON AN ACTIVE LIGHTING CIRCUIT WITH NO INTERVENING WALL SWITCH
- 12) NONMETALLIC CABLE TO BE TYPE NM-B COPPER
- 13) APPLIANCES SUCH AS WATER HEATER, WASHER AND DRYER, FIELD WIRED BY OTHERS

(TYPE) 100 AMP SERVICE (MAXIMUM USAGE) WITH GAS FURNACE (NO A/C)

CIRCUIT NO.	CIRCUIT	CIRCUIT BREAKER	POLES REQ'D.	WIRE SIZE	CONNECTED LOAD (KW)
1,2,3	APPL.	20	1	NM12-2/VG	1.92
4,5,6,7,8,9	LIGHTING	15	1	NM14-2/VG	1.44
10	GAR DIS	15	1	NM14-2/VG	1.44
11	WASHER	20	1	NM12-2/VG	1.92
12	DRYER	30	2	NM10-3/VG	5.76
13	V/H	30	2	NM10-2/VG	5.76
14	OVEN	50	2	NM6-3/VG	10.56
15	C/T	40	2	NM6-3/VG	7.68
16	MICRO	20	1	NM12-2/VG	1.92
17	FREEZER	20	1	NM12-2/VG	1.92
18	VWDL QD	20	1	NM12-2/VG	1.92
19	FURN	15	1	NM14-2/VG	1.44
20	D/V	15	1	NM14-2/VG	1.44
21,22,23	DRYAN	50	2	NM6-3/VG	10.56
24,25	MH LIGHTING	20	1	NM12-2/VG	1.92



(TYPE) 200 AMP SERVICE (MAXIMUM USAGE) WITH ELECTRIC HEATING OR A/C

CIRCUIT NO.	CIRCUIT	CIRCUIT BREAKER	POLES REQ'D.	WIRE SIZE	CONNECTED LOAD (KW)
1,2,3	APPL.	20	1	NM12-2/VG	1.92
4,5,6,7,8,9	LIGHTING	15	1	NM14-2/VG	1.44
10	GAR DIS	15	1	NM14-2/VG	1.44
11	WASHER	20	1	NM12-2/VG	1.92
12	DRYER	30	2	NM10-3/VG	5.76
13	V/H	30	2	NM10-2/VG	5.76
14	2X FURN	60	2	NM4-2/VG	24.88
15	A/C	60	2	NM4-2/VG	10.56
16	OVEN	50	2	NM6-3/VG	10.56
17	DVFN	50	2	NM6-3/VG	7.68
18	C/T	40	2	NM6-3/VG	7.68
19	MICRO	20	1	NM12-2/VG	1.92
20	FREEZER	20	1	NM12-2/VG	1.92
21,22,23	HEAT	20	2	NM12-2/VG	3.84
24,25,26	HEAT	20	2	NM12-2/VG	3.84
27	VWDL QD	20	1	NM12-2/VG	1.92
28	D/V	15	1	NM14-2/VG	1.44
29	DRYAN	50	2	NM6-3/VG	10.56
30	DRYAN	50	2	NM6-3/VG	10.56
31,32,33	MH LIGHTING	20	1	NM12-2/VG	1.92
34,35	MH LIGHTING	15	1	NM14-2/VG	1.44

1) ALL ELECTRICAL CONDUCTORS AND EQUIPMENT SHALL BE LISTED OR LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY AND IN COMBINATION WITH LISTING AND LABELING CONDUCTORS AND EQUIPMENT SHALL BE SUITABLE FOR LOCATION AND USE IN BASEMENT WITHOUT UPSTAIRS UTILITY AREA, APPLIANCES SUCH AS WATER HEATERS, WASHERS, AND DRYERS ARE LOCATED IN BSMT. AND FIELD WIRED BY OTHERS

2) 120V L.T. BOXES ARE WIRED V/LT SHIPPED LOOSE FOR ON SITE INSTALLATION BY OTHERS MANUFACTURERS FOR COMPLETE ELECTRICAL HOOK-UP

3) BATH AND EXTERIOR CIRCUIT TO HAVE GF.I.

4) ALL WIRE USED IS GROUNDING

5) ELECTRICAL SERVICE TO BE GROUNDING IN FIELD BY OTHERS AFTER CIRCUITS HAVE BEEN COMPLETED ACCORDING TO LOCAL REQUIREMENTS

6) NONMETALLIC SHEATHED CABLE SHALL BE SECURED IN PLACE AT INTERVALS NOT EXCEEDING 4 1/2' AND WITHIN 12" FROM EVERY CABINET, BOX OR FITTING

7) 180NMMETALLIC SHEATHED CABLE SHALL BE PROTECTED WITH 1/16" THICK STEEL BUSHING

8) EDGE OF SUCH FRAMING MEMBER ARE PROTECTED WITH 1/16" THICK STUD STEEL PLATES

9) CABLE PASSING THRU NOTCHES ARE PROTECTED WITH 1/16" THICK STUD STEEL PLATES

10) 200N PLANT WIRING IS INSPECTED BY ACCREDITED INSPECTION AGENCY

21) 120V EXTERIOR G.F.I. RECEPTS REQUIRED. ONE LOCATED ON THE FRONT OF THE HOME AND ONE LOCATED ON THE REAR OF THE HOME.

22) UNCONNECTED LOAD OF AN ELECTRICAL BASEBOARD HEATER BRANCH CIRCUIT SHALL NOT EXCEED 80% OF ITS RATING

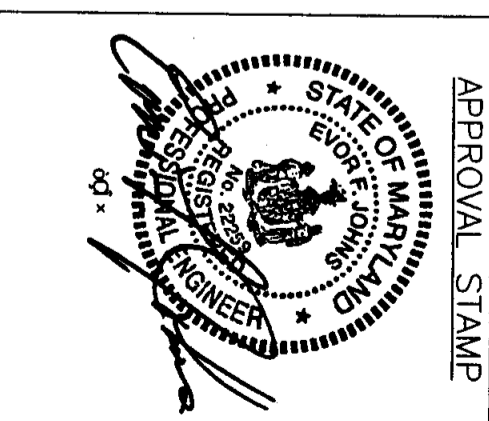
23) ELECTRICAL BASEBOARD HEATERS CONFORM TO THE REQUIREMENTS OF AND ARE INSTALLED IN STRICT ACCORDANCE WITH THE TEMPERATURE PERFORMANCE REQUIREMENTS OF UL STANDARD FOR SAFETY NO. 1042 ON ELECTRICAL BASEBOARD HEATING

24) SQUARE MOUNTED INCANDESCENT FIXTURES INSTALLED ON THE WALL ABOVE THE DOOR OR ON THE CEILING PROVIDED THERE IS A MINIMUM CLEARANCE OF 12 INCHES (305 MM) BETWEEN THE FIXTURE AND THE NEAREST POINT OF A STORAGE AREA (NEC-410-8(DX1))

25) SLEEPING AREAS, IN EACH SLEEPING AREA & ON EACH FLOOR LEVEL

26) SMOKE DETECTORS SHALL BE PROVIDED ADJACENT TO ALL SLEEPING AREAS, IN EACH SLEEPING AREA & ON EACH FLOOR LEVEL

27) WHEN PANEL BOX IS NOT LOCATED ON OR DIRECTLY ADJACENT TO EXTERIOR WALL OF HOME, A SERVICE DISCONNECT MUST BE INSTALLED ON SITE AT THE NEAREST POINT OF ENTRANCE OF SERVICE CONDUCTORS. THIS INFORMATION MUST OCCUR ON THE DATA PLATE OF HOMES WHERE SUCH CONDITIONS EXIST.



APPROVAL STAMP

11-17-04
Footing AM

PFS # 567046
047

2-9-05
Footing

8x8 Sled.

R 0035792
R 0035791

Plum - 1-19-05
F Elec - 1-24-05

2 BR / Liv Kit

✓